

Sierra Reflections

Common Open Space Tentative Subdivision Map



Krater
Consulting
Group



Washoe County Planning Commission
January 6, 2026

New Site Plan

2025 Plan

759.69 Acres in 29 Parcels

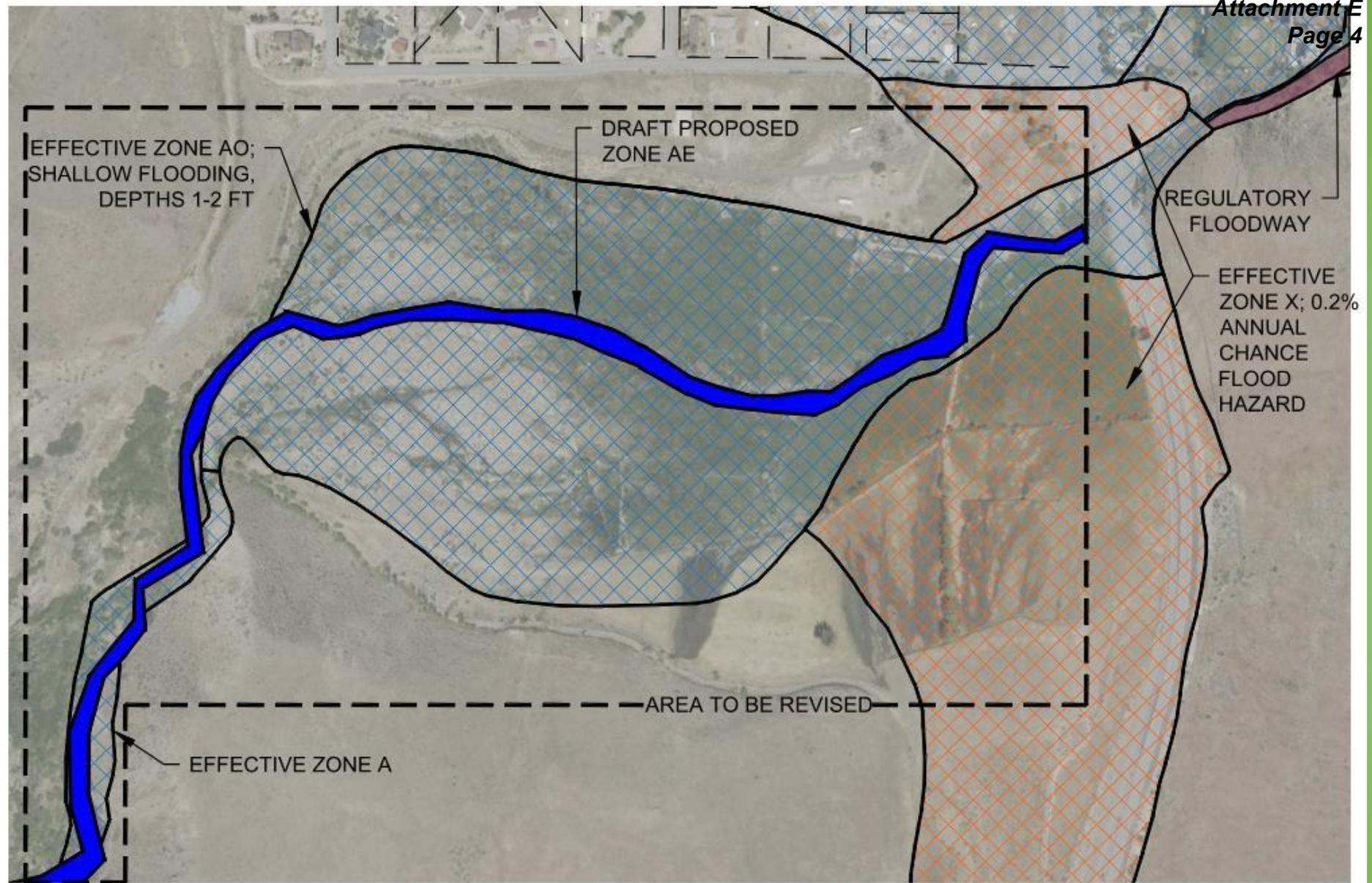
940 Lots/Units

1.24+/- DU/AC

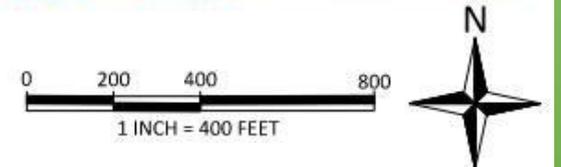
All homes are SF detached



Regulatory Flood Zones



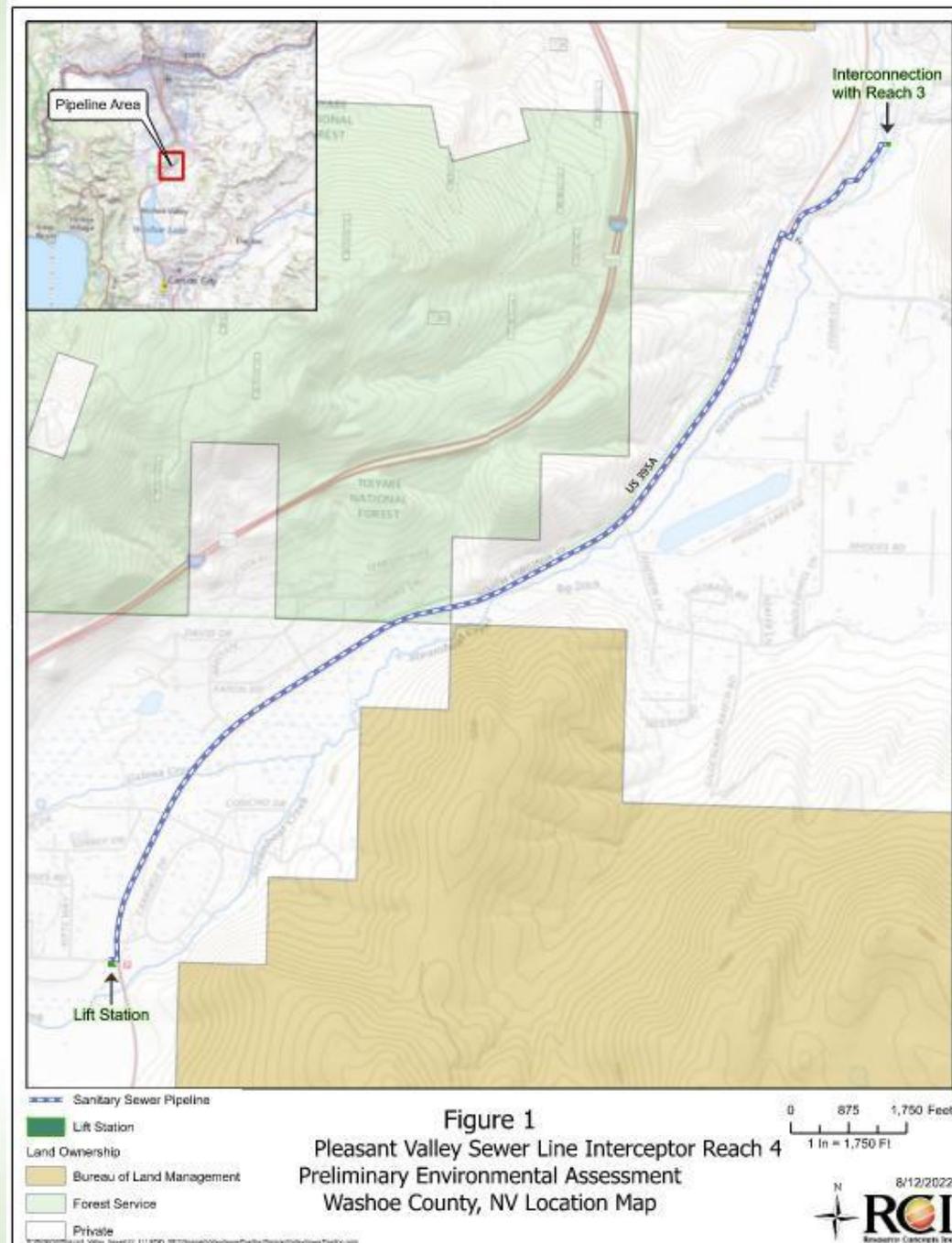
NOTES:
1. MODELING RESULTS SHOWN IN FIGURE ARE PRELIMINARY AND NOT FINAL.



Reach IV Sewer Main

The developer is responsible to extend the sewer main from Reach III, near the Steamboat Spa to the project site.

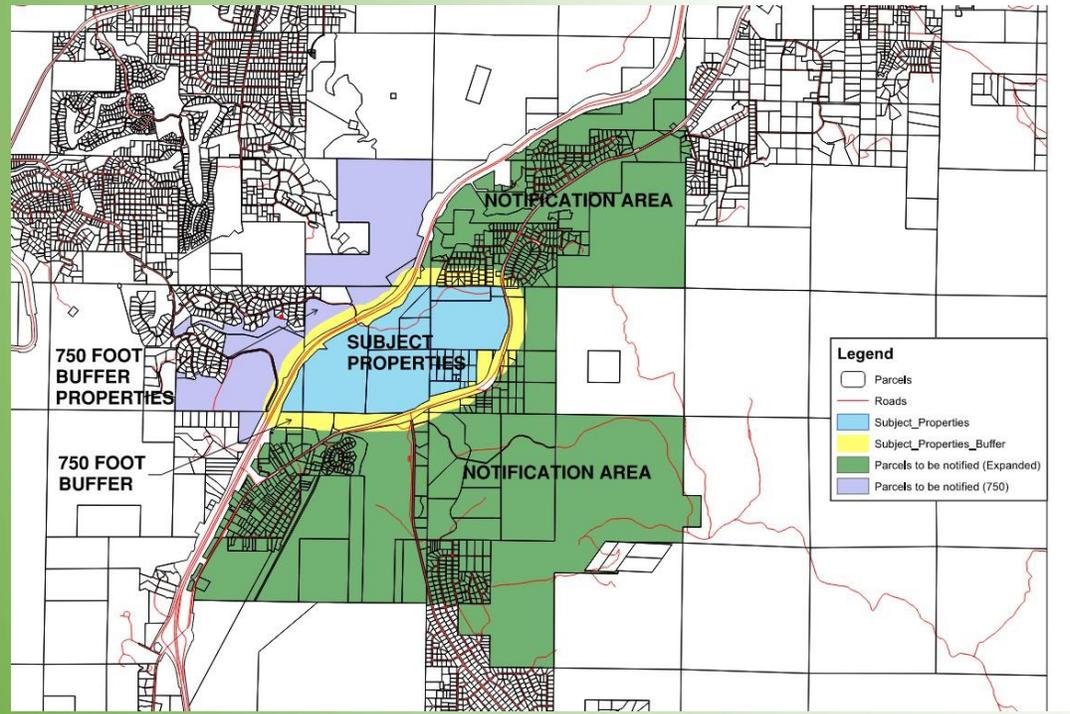
Sewer will be extended up St James' Parkway to provide long anticipated and planned service to St. James' Village.





Vicinity Map & Notification Area

759.69 Acres in 29 Parcels
Owner – World Properties, Inc.

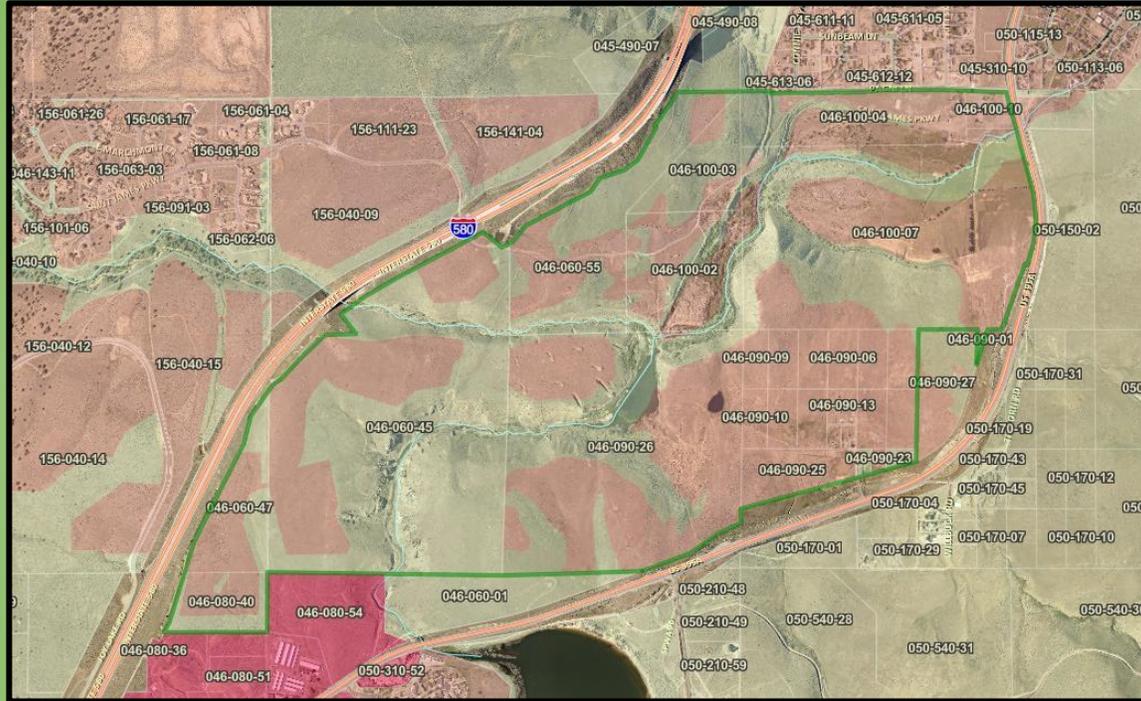


Notification Area



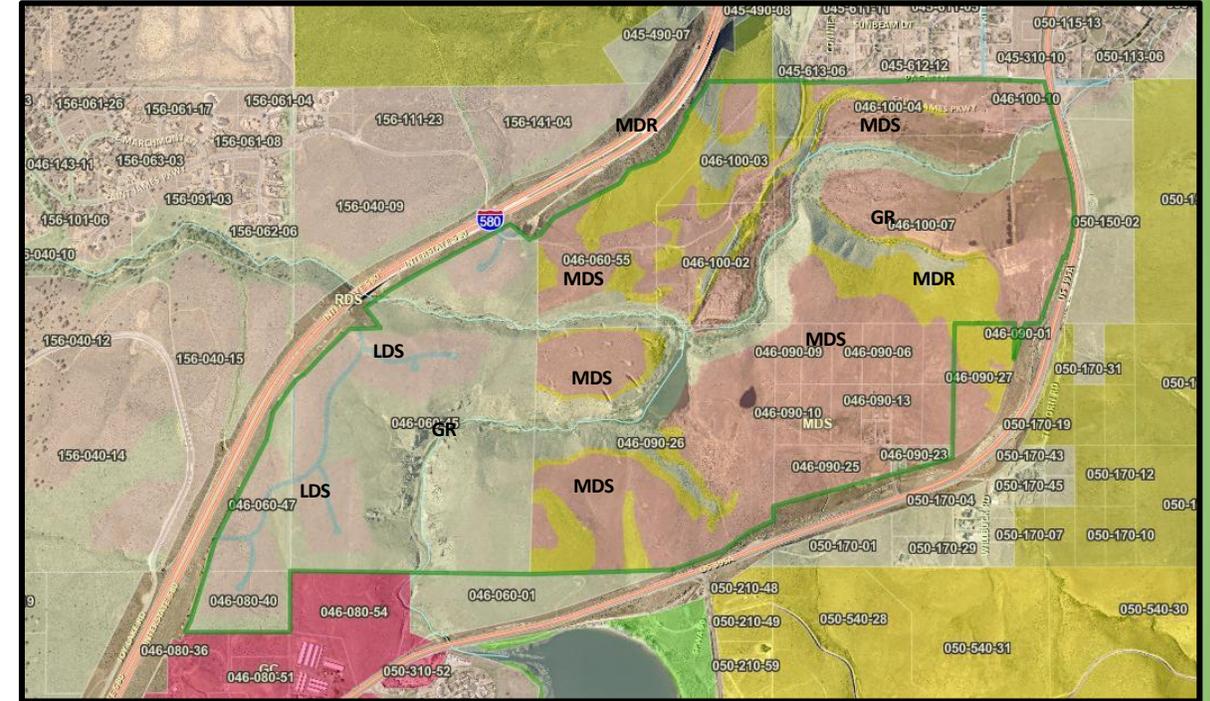
Master Plan & Zoning

Existing Master Plan Designations



- Suburban
- Rural and Rural Reserve

Existing Zoning Designations



Zoning Designation (Allowed Density)

 MDS – Medium Density Suburban (3 DU/AC)	328.49+/- AC	985 Lots
 LDS – Low Density Suburban (1 DU/AC)	73.65+/- AC	73 Lots
 MDR – Medium Density Rural (1DU/5 AC)	95.75+/- AC	19 Lots
 GR – General Rural (1 DU/40 AC)	253.90+/- AC	6 Lots
 PSP – Public-Semi Public (0 DU/AC)	7.90+/- AC	0 Lots
Total Lots Allowed Per Zoning		1,083 Lots

WCDC - Article 408

Common Open Space Development

Section 110.408.00 Purpose. The purpose of this article, Article 408, Common Open Space Development, is to set forth regulations to permit variation of lot size, including density transfer subdivisions, in order to preserve or provide open space, protect natural and scenic resources, achieve a more efficient use of land, minimize road building, and encourage a sense of community.

Section 110.408.05 Applicability. Common open space development may be allowed in any residential land use category or any general, office or tourist commercial regulatory zone.

Section 110.408.20 Density and Intensity.

- (a) Residential. The total number of dwelling units in the proposed common open space development shall not exceed the total number of dwelling units allowed by the underlying regulatory zones(s). The gross site area may include more than one (1) parcel.

Site Plan

- 940 lots of various sizes are proposed in the plan.

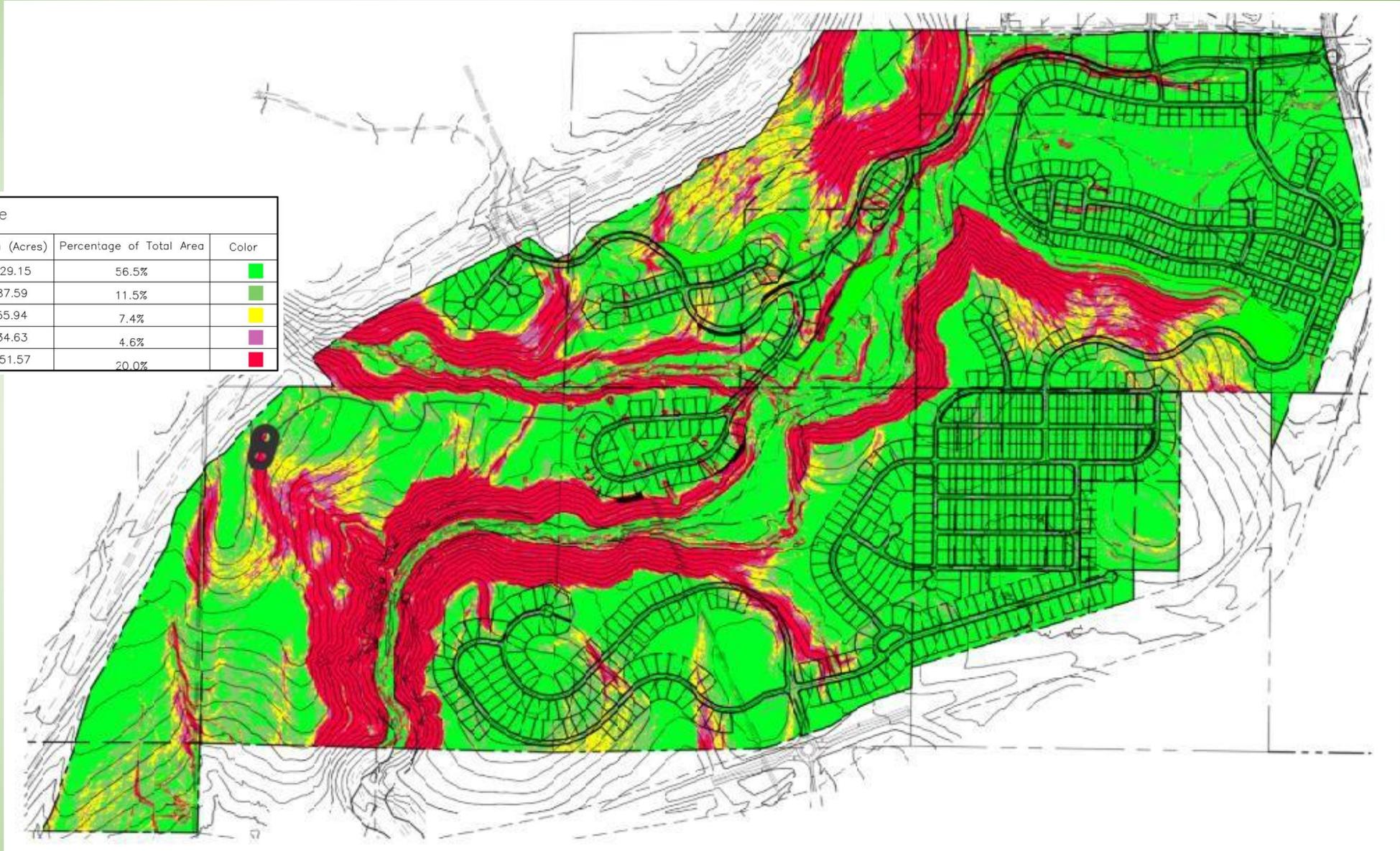
Approximately 60% of the site (450+ acres) is expected to be in open space containing trails and open land, managed by the HOA.



Slope Analysis Exhibit

Slopes Table

Number	Minimum Slope	Maximum Slope	Area (SF)	Area (Acres)	Percentage of Total Area	Color
1	0.00%	15.00%	18693568.96	429.15	56.5%	Light Green
2	15.00%	20.00%	3815486.78	87.59	11.5%	Medium Green
3	20.00%	25.00%	2436745.93	55.94	7.4%	Yellow
4	25.00%	30.00%	1508627.93	34.63	4.6%	Purple
5	30.00%	Vertical	6602346.74	151.57	20.0%	Red



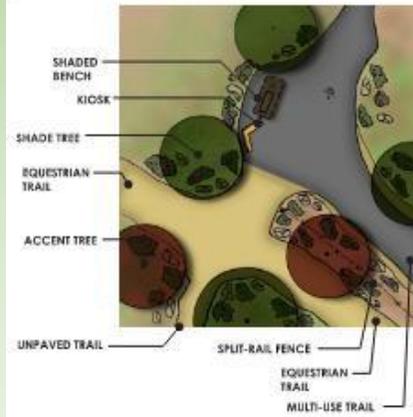
Parks



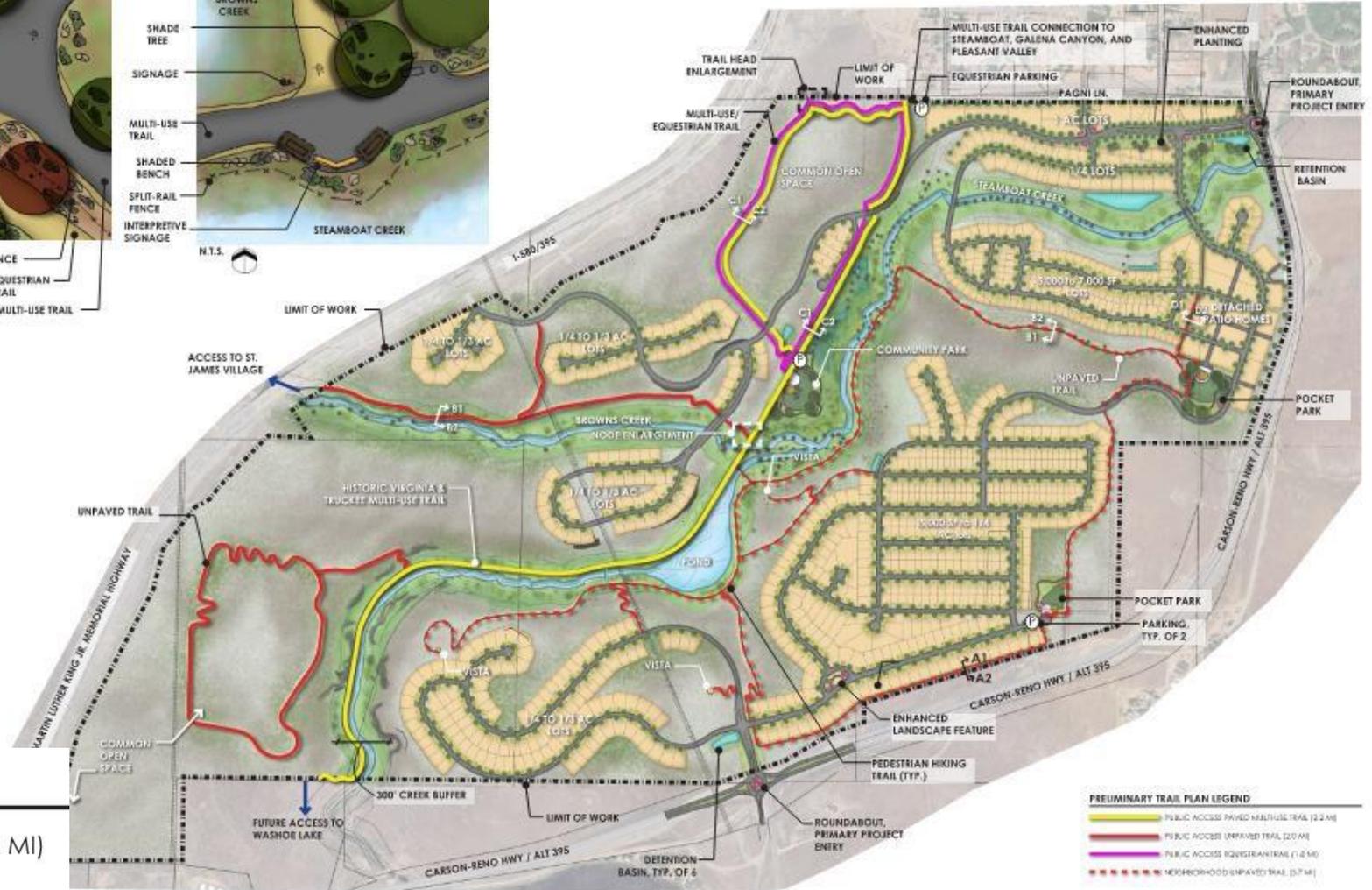
Trails & OS

- Over 8.5 miles of trails.
- V&T Multi-Use Trail
- Equestrian Trail
- Access and Parking
- Access paralleling Steamboat and Browns Creek and additional trails linking neighborhood.

TRAIL HEAD ENLARGEMENT



TRAIL NODE ENLARGEMENT

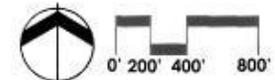


PRELIMINARY TRAIL PLAN LEGEND

- PUBLIC ACCESS PAVED MULTI-USE TRAIL (2.2 MI)
- PUBLIC ACCESS UNPAVED TRAIL (2.0 MI)
- PUBLIC ACCESS EQUESTRIAN TRAIL (1.0 MI)
- NEIGHBORHOOD UNPAVED TRAIL (3.7 MI)

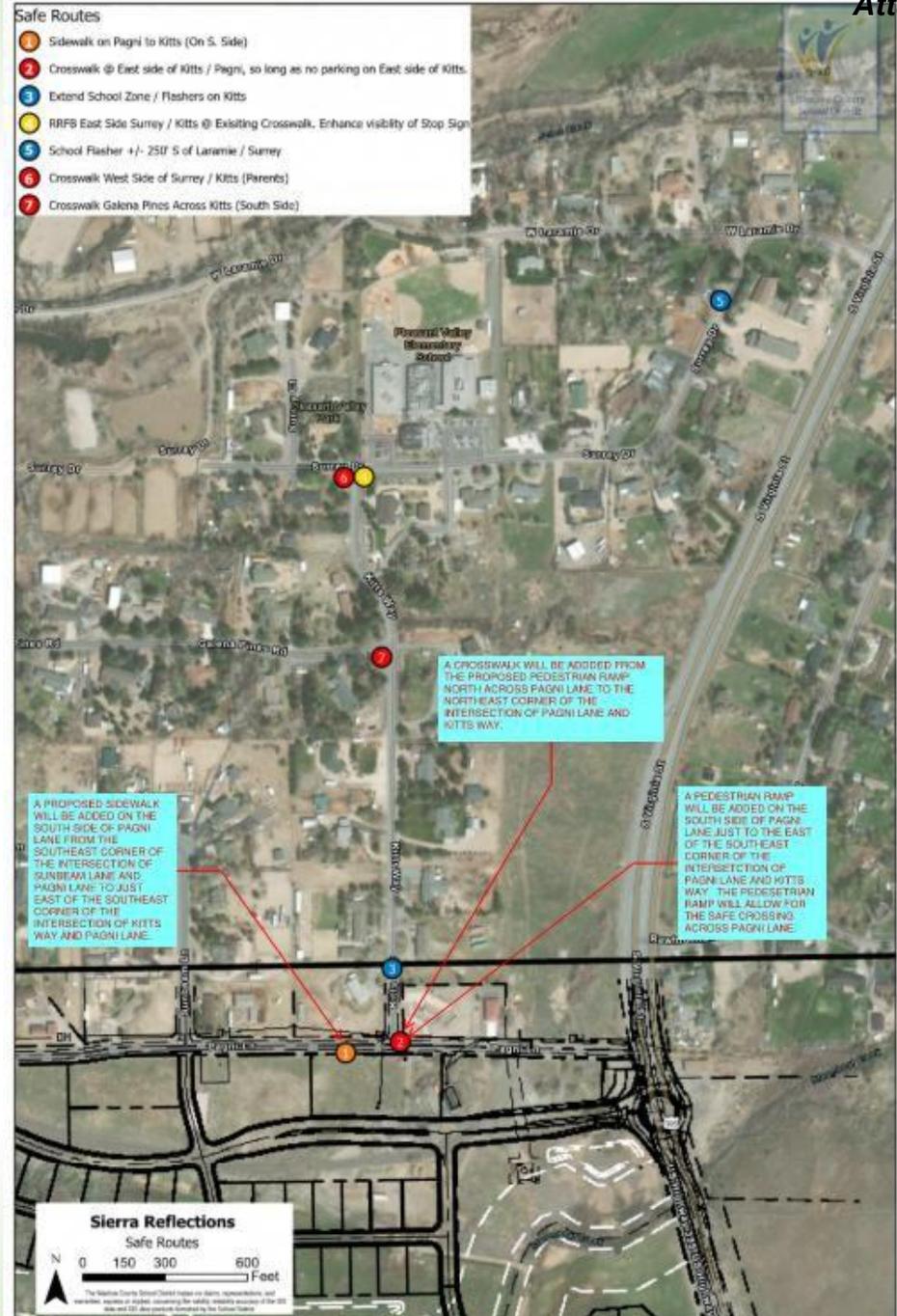
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TIONS



DATE: 04.11.2023

Safe Routes to School Program



Safe Routes

- 1 Sidewalk on Pagni to Kitts (On S. Side)
- 2 Crosswalk @ East side of Kitts / Pagni, so long as no parking on East side of Kitts.
- 3 Extend School Zone / Flashers on Kitts
- 4 RRFB East Side Surrey / Kitts @ Existing Crosswalk. Enhance visibility of Stop Sign
- 5 School Flasher +/- 250' S of Laramie / Surrey
- 6 Crosswalk West Side of Surrey / Kitts (Parents)
- 7 Crosswalk Galena Pines Across Kitts (South Side)

Meadows Area

- Development remains outside of sensitive and critical stream zones (per Article 424)
- Min 300-foot SHR buffer with 400 – 500 feet provided in many areas.
- 1 acre lot buffer area to properties to north and transition to smaller lots south of St. James Parkway and across Steamboat Creek.



Carson River Mercury Superfund Site

—Carryover Effect from Comstock Mining

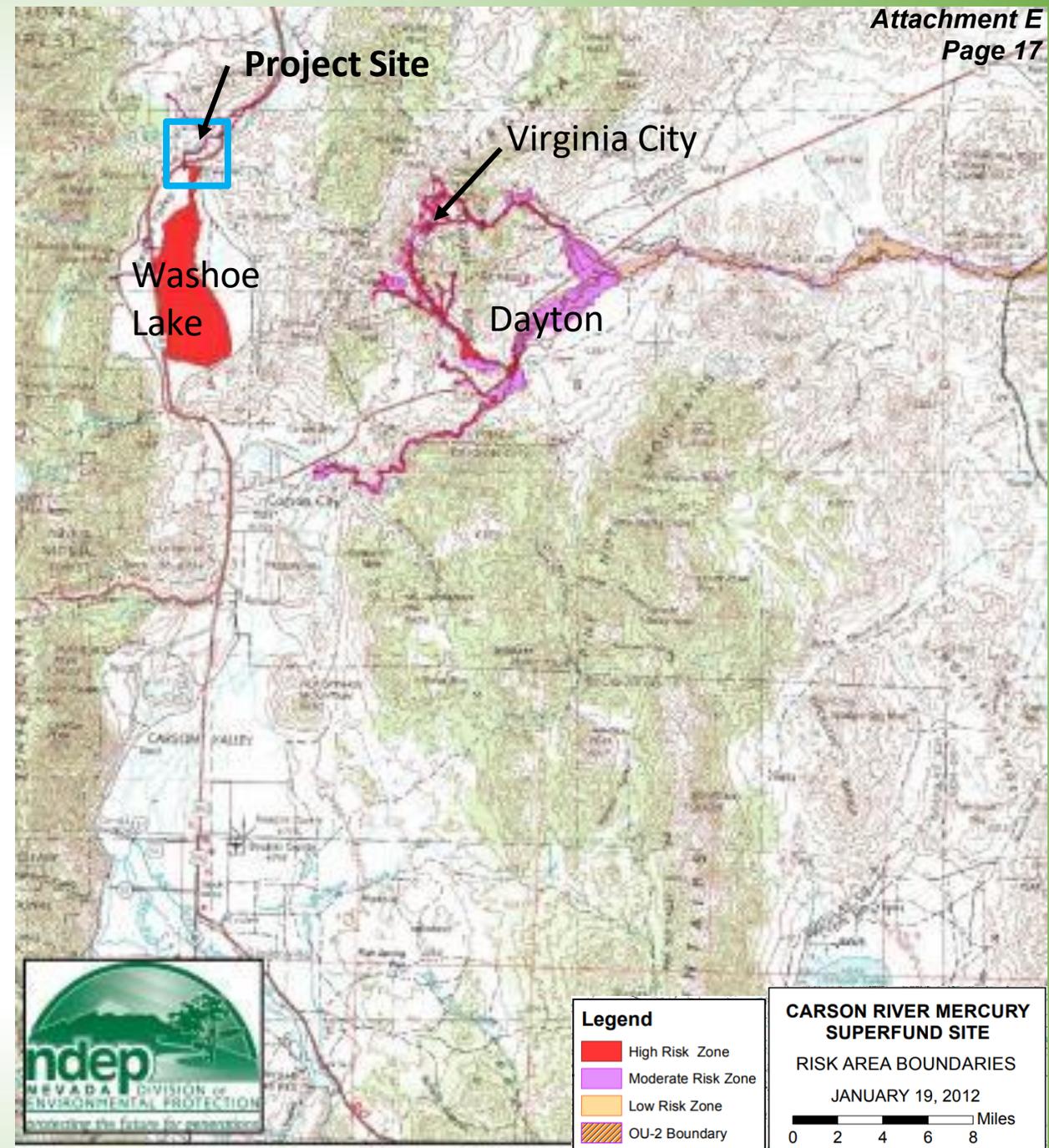
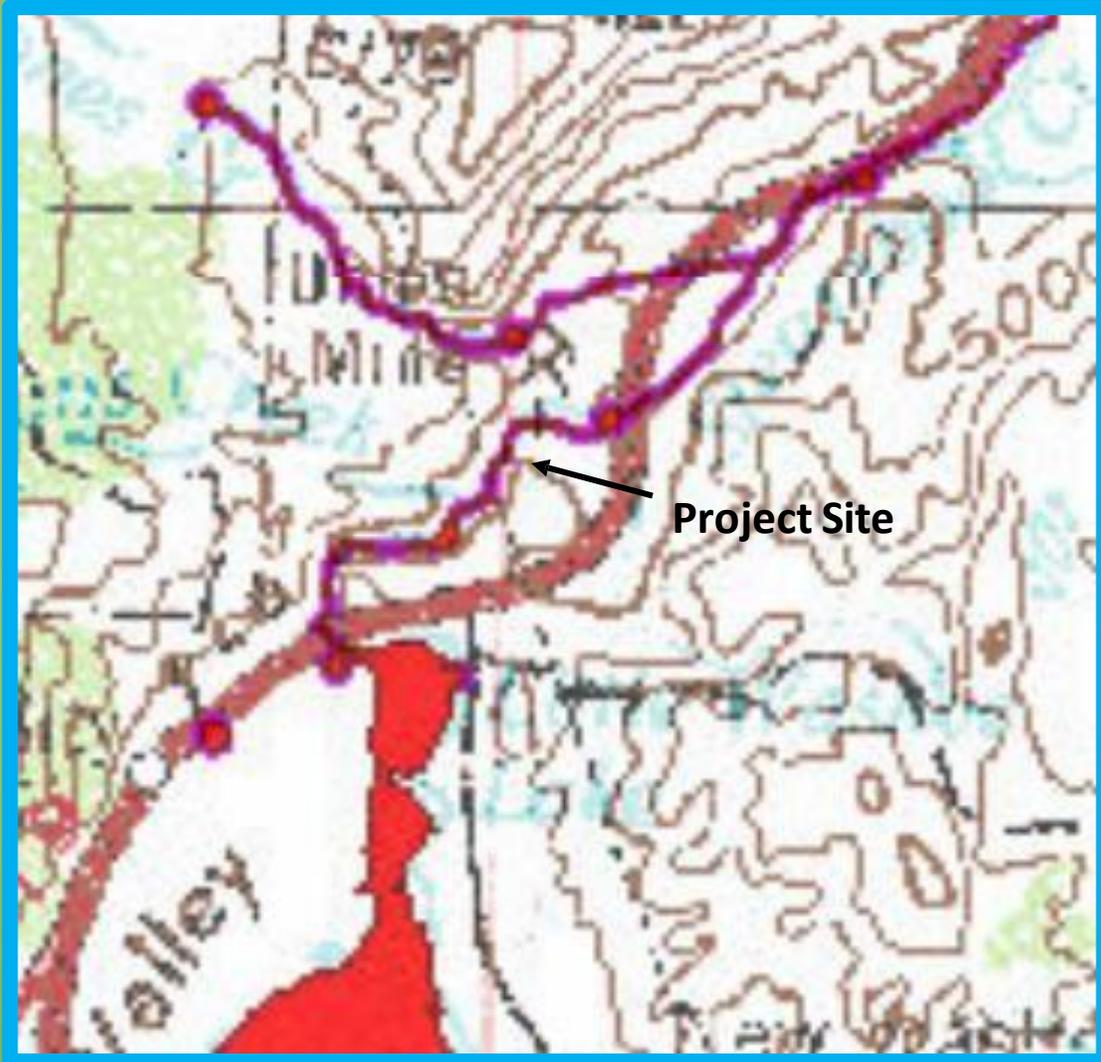




FIGURE 2

TITLE:
**SITE MAP
-SHOWING-
CRMS Zones
Sierra Reflections Subdivision
New Washoe City,
Washoe County, NV**

JOB NO.:
KKC012

DATE:
11/17/2023

FILE:
Fig 2 - CRMS Site Map

COORDINATE SYSTEM:
NAD 1983 UTM Zone 11N

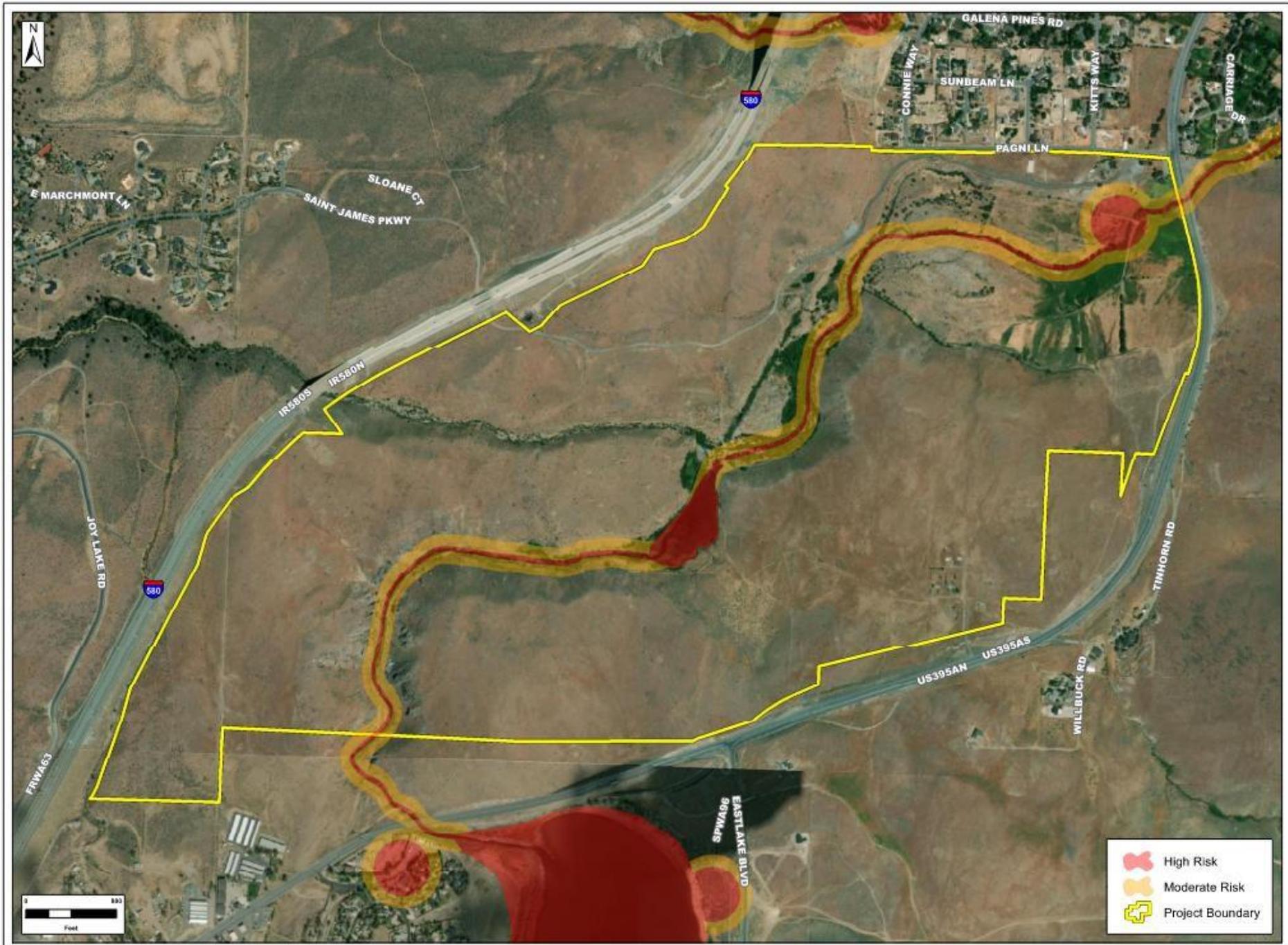
REF:
DESIGNED HC

DRAWN HC

CHECKED CJ

APPROVED CJ

REVISION:
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■ High Risk
■ Moderate Risk
■ Project Boundary

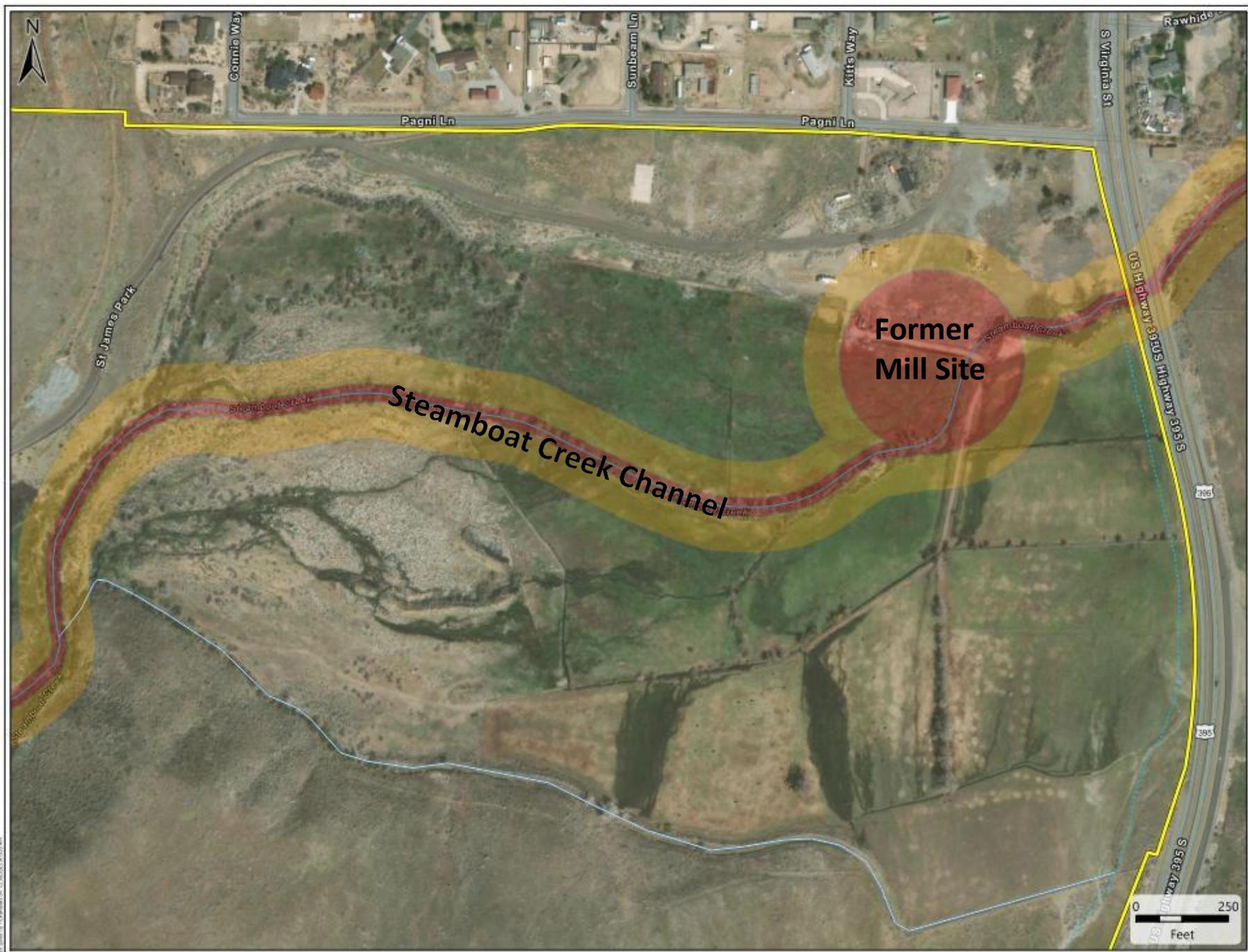


FIGURE 1

CRMS Zone in the Meadow Area
Sierra Reflections Subdivision
New Washoe City, Washoe County, NV

- CRMS Zones**
- High Risk
 - Moderate Risk
 - Project Boundary
- USGS National Hydrography Dataset**
- Canal Ditch
 - Ephemeral Stream
 - Perennial Stream

Client: World Properties Inc.
Project Code: KKC012
NAD 1983 UTM Zone 11N
H.Chambers 12/30/2025



Map made by H.Chambers on 12/30/2025 at 10:52 am
 © 2025 UES, Inc. All Rights Reserved. Scale is 1:50,000. UTM Zone 11N. UTM Easting.

Master Plan and Code Items Supporting Common Open Space Development

SVAP Policy 3.2 – Encourages Common Open Space Development and TDR’s to protect wildlife and vegetation resources

SVAP Policy 4.3 - Protection of critical source water areas

SVAP Principal 5 – regional parks and trails providing for active and passive recreation

SVAP Policy 8.1 - V&T multi-use trail can provide cultural resource education.

Article 418 – Purpose Statement, Item F states: “Encouraging common open space developments to avoid hazardous or environmentally sensitive areas, protect important habitat and open space areas, and minimize impacts on groundwater recharge areas;”

Section 110.418.35 – Further states: New residential subdivision requests with a protected perennial stream on the property are encouraged to submit in accordance with the provisions of Article 408, Common Open Space Development.

Findings for Tentative Map

Plan Consistency. Consistent with the Master Plan and any specific plan;

Design or Improvement. That the design or improvement is consistent with the Master Plan and any specific plan;

Type of Development. Site is physically suited for the type of development proposed;

Availability of Services. Subdivision will meet the requirements of Article 702, Adequate Public Facilities Management System;

Fish or Wildlife. That neither the design of the subdivision nor any proposed improvements is likely to cause substantial environmental damage, or substantial and avoidable injury to any endangered plant, wildlife or their habitat;

Public Health. That the design of the subdivision or type of improvement is not likely to cause significant public health problems;

Easements. That the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through, or use of property within, the proposed subdivision;

Access. That the design of the subdivision provides any necessary access to surrounding, adjacent lands and provides appropriate secondary access for emergency vehicles;

Dedications. That any land or improvements to be dedicated to the County is consistent with the Master Plan; and

Energy. That the design of the subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities

Findings for Common Open Space Development

Preserve or Provide Open Space. The development preserves existing steep slope areas, developmentally constrained areas, and heavily treed areas from development and provides future residents with an option for open space above and beyond any applicable minimum requirements of Article 432.

Protect Natural and Scenic Resources. The development identifies and protects natural and scenic resources, including but not limited to ridgelines, waterways, large diameter trees, and habitat for special status species.

Achieve a More Efficient Use of Land. The development utilizes density clustering to further protect and preserve open spaces.

Minimize Road Building. The development is designed in a manner that reduces the overall linear distance of roadways (e.g. cul-de-sacs).

Encourage a Sense of Community. The development provides community amenities such as trail connectivity, bike trails/walking trails, dog parks, playgrounds, pocket parks, etc.

Findings for Special Use Permit

Consistency. The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the applicable area plan;

Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

Site Suitability. The site is physically suitable for the type of development and for the intensity of development;

Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area; and

Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Closing

The applicant is in agreement with the staff's thorough review, analysis and recommendation for this project and we agree with the conditions of approval that have been provided. We request that the Planning Commission uphold the staff's technical review, analysis and recommendation and approve the request that is before you.

Additional Slides for Question

Mercury Slides

Carson River Mercury Superfund Site

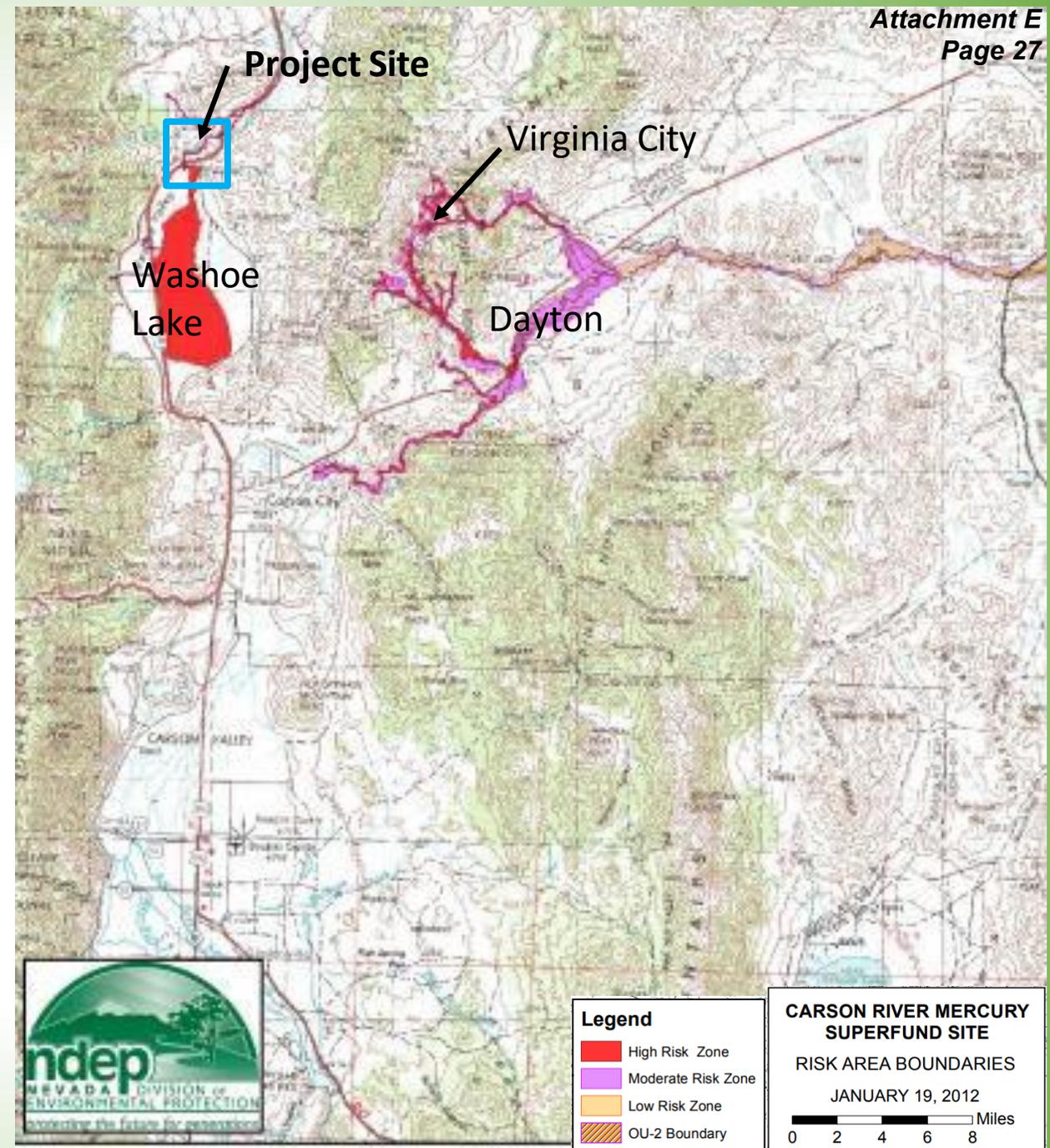
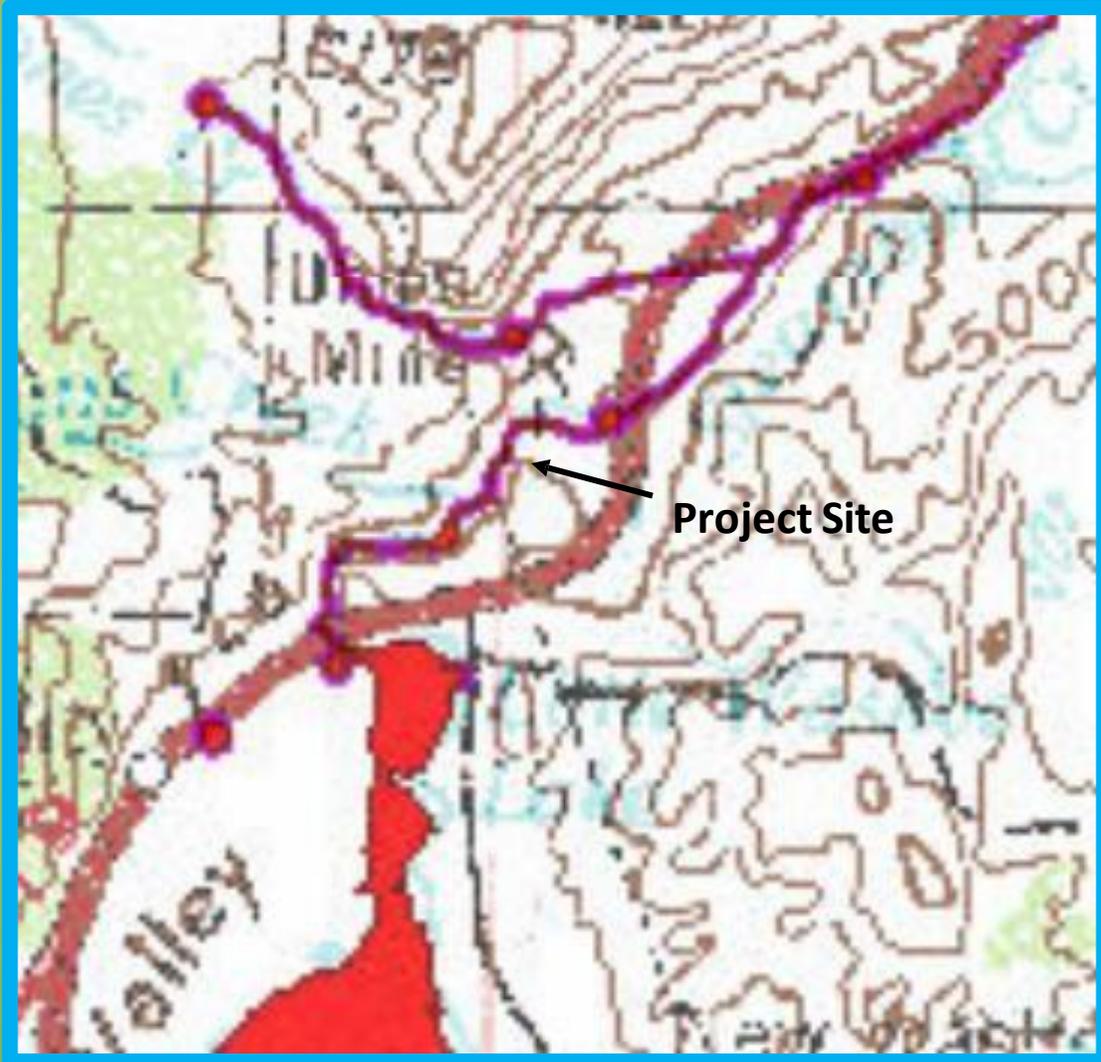




FIGURE 2

TITLE:
**SITE MAP
-SHOWING-
CRMS Zones
Sierra Reflections Subdivision
New Washoe City,
Washoe County, NV**

JOB NO.:
KKC012

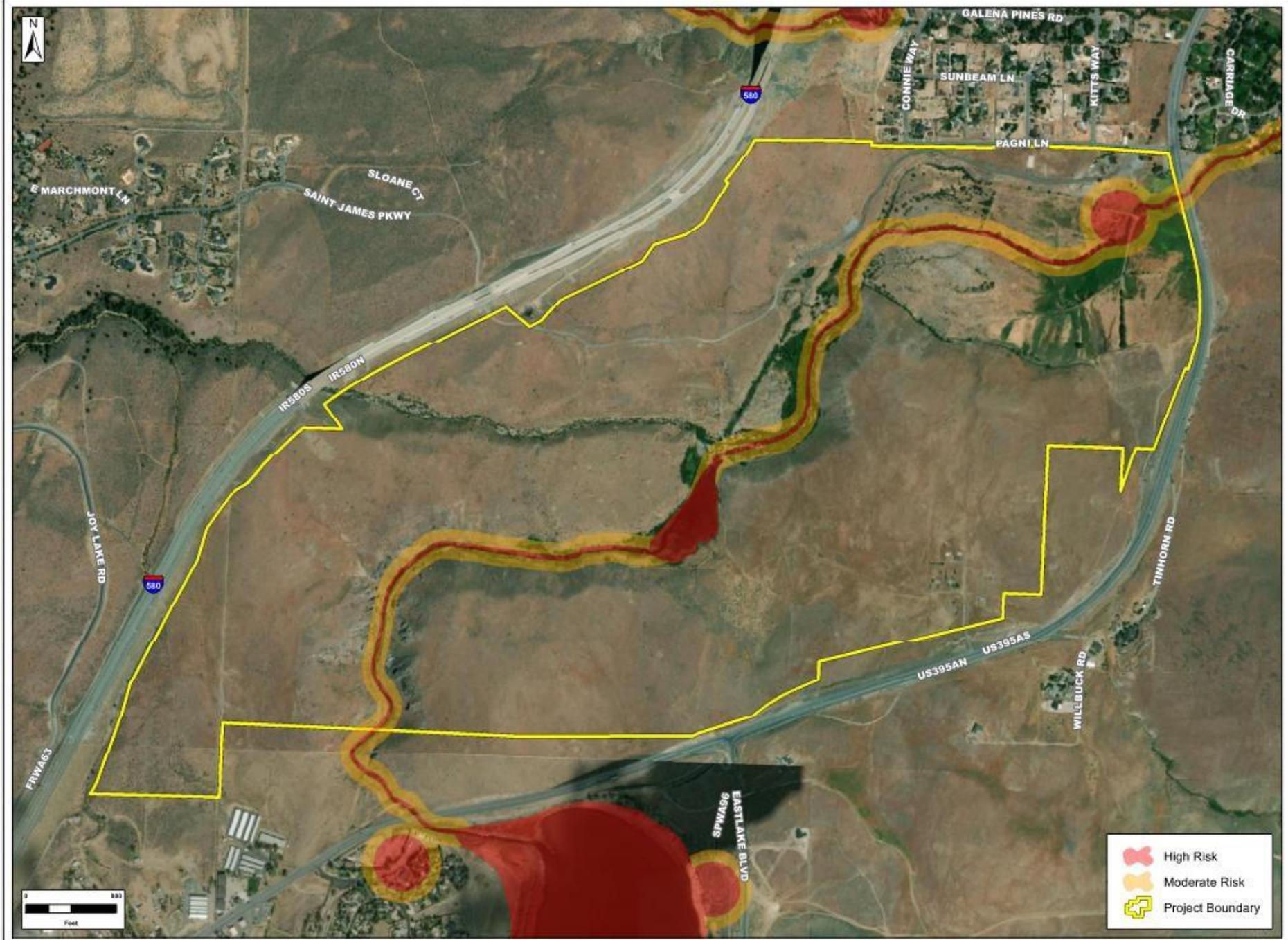
DATE:
11/17/2023

FILE:
Fig 2 - CRMS Site Map

COORDINATE SYSTEM:
NAD 1983 UTM Zone 11N

REF:
DESIGNED HC
DRAWN HC
CHECKED CJ
APPROVED CJ

REVISION:
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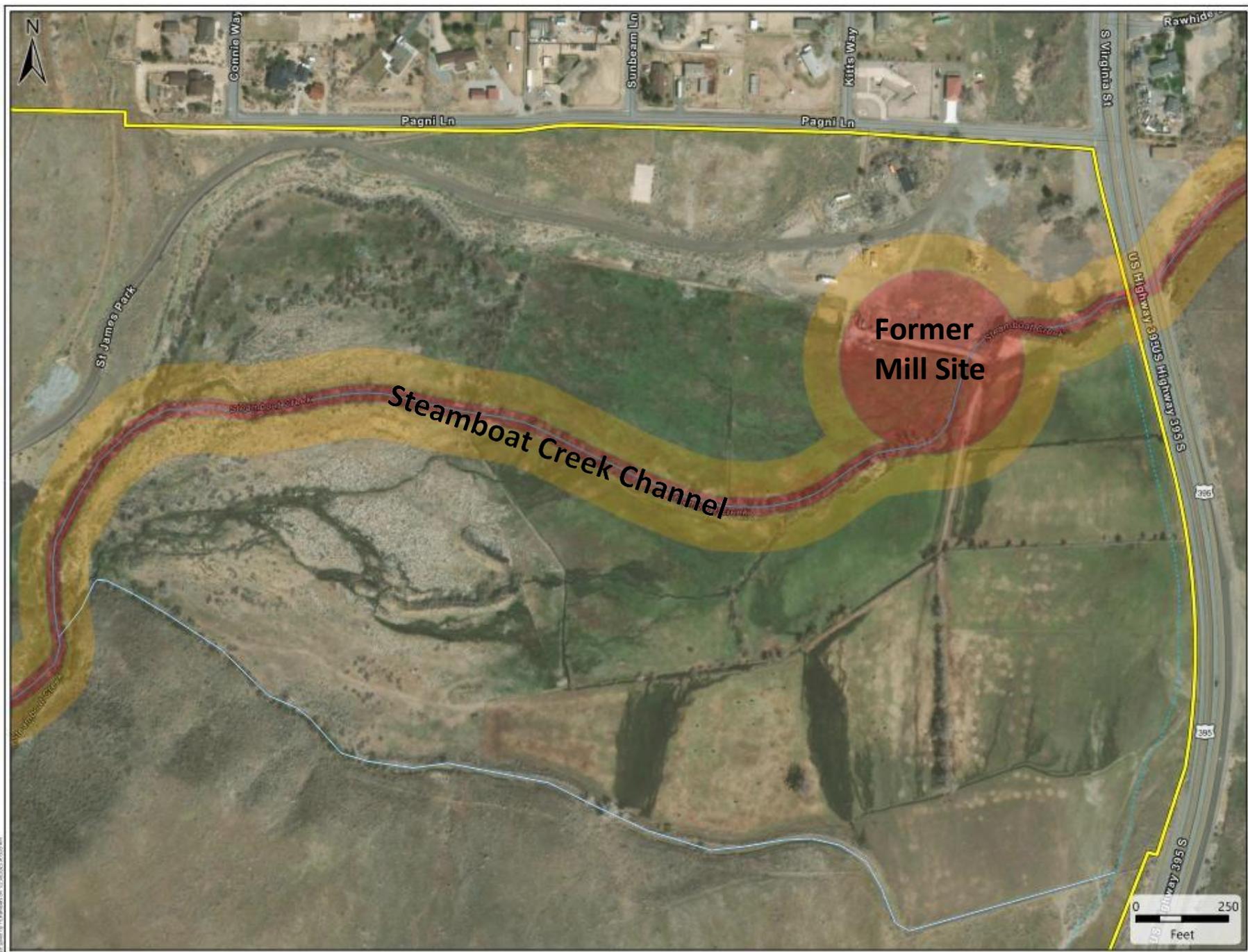


FIGURE 1

CRMS Zone in the Meadow Area
Sierra Reflections Subdivision
New Washoe City, Washoe County, NV

- CRMS Zones**
- High Risk
 - Moderate Risk
 - Project Boundary
- USGS National Hydrography Dataset**
- Canal Ditch
 - Ephemeral Stream
 - Perennial Stream

Client: World Properties Inc.
Project Code: KKC012
NAD 1983 UTM Zone 11N
H.Chambers 12/30/2025



Prepared by H.Chambers on 12/30/2025 at 10:43 AM
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 Version: 11.000.0000

Mercury Testing

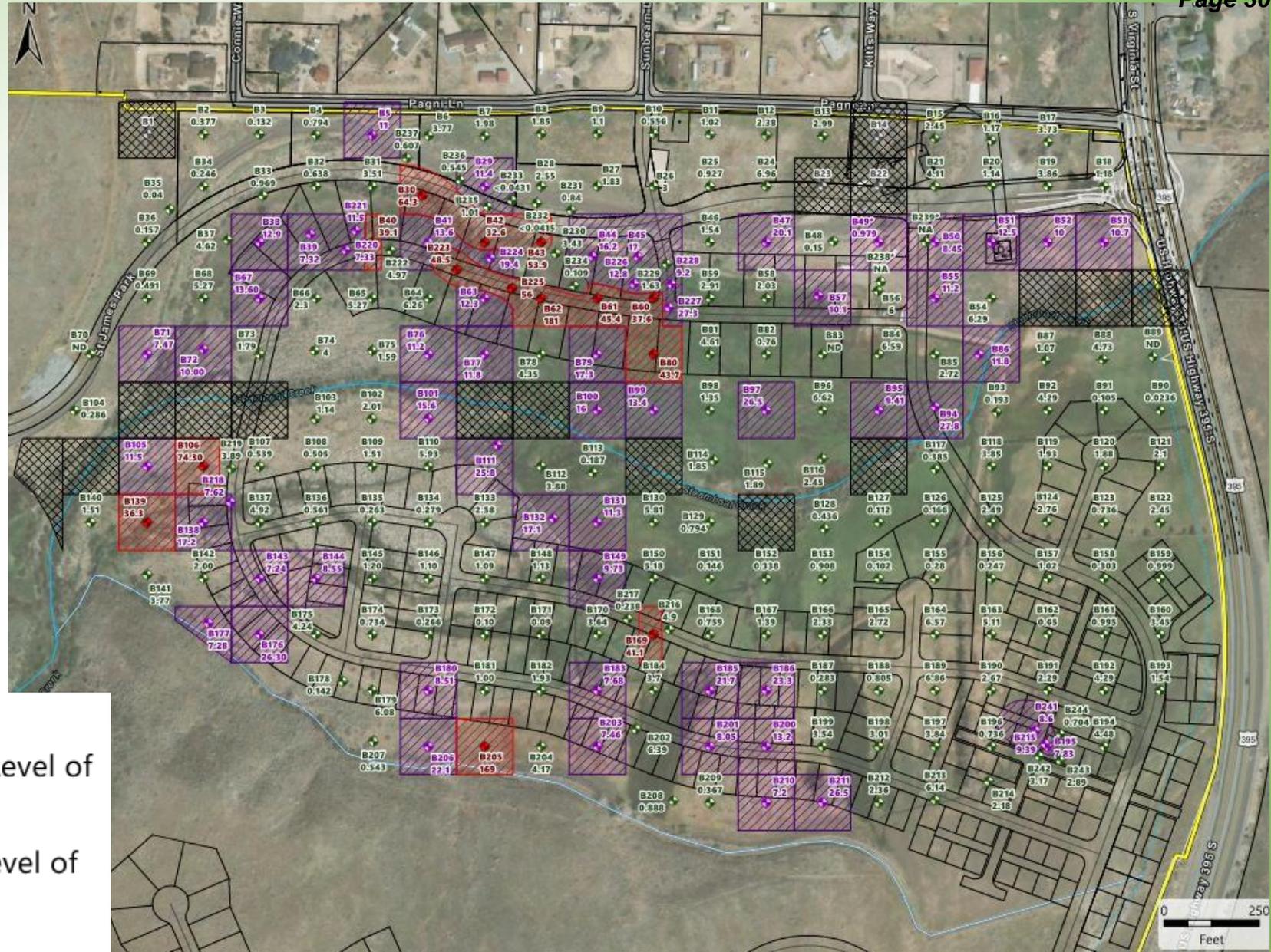
Zone 1 Meadows
0' - 4' Depth

Meadow Area Only –
409 samples (includes shallow and deeper samples),
78 > residential action levels (7.1 mg/kg),
16 > commercial action levels (30 mg/kg)

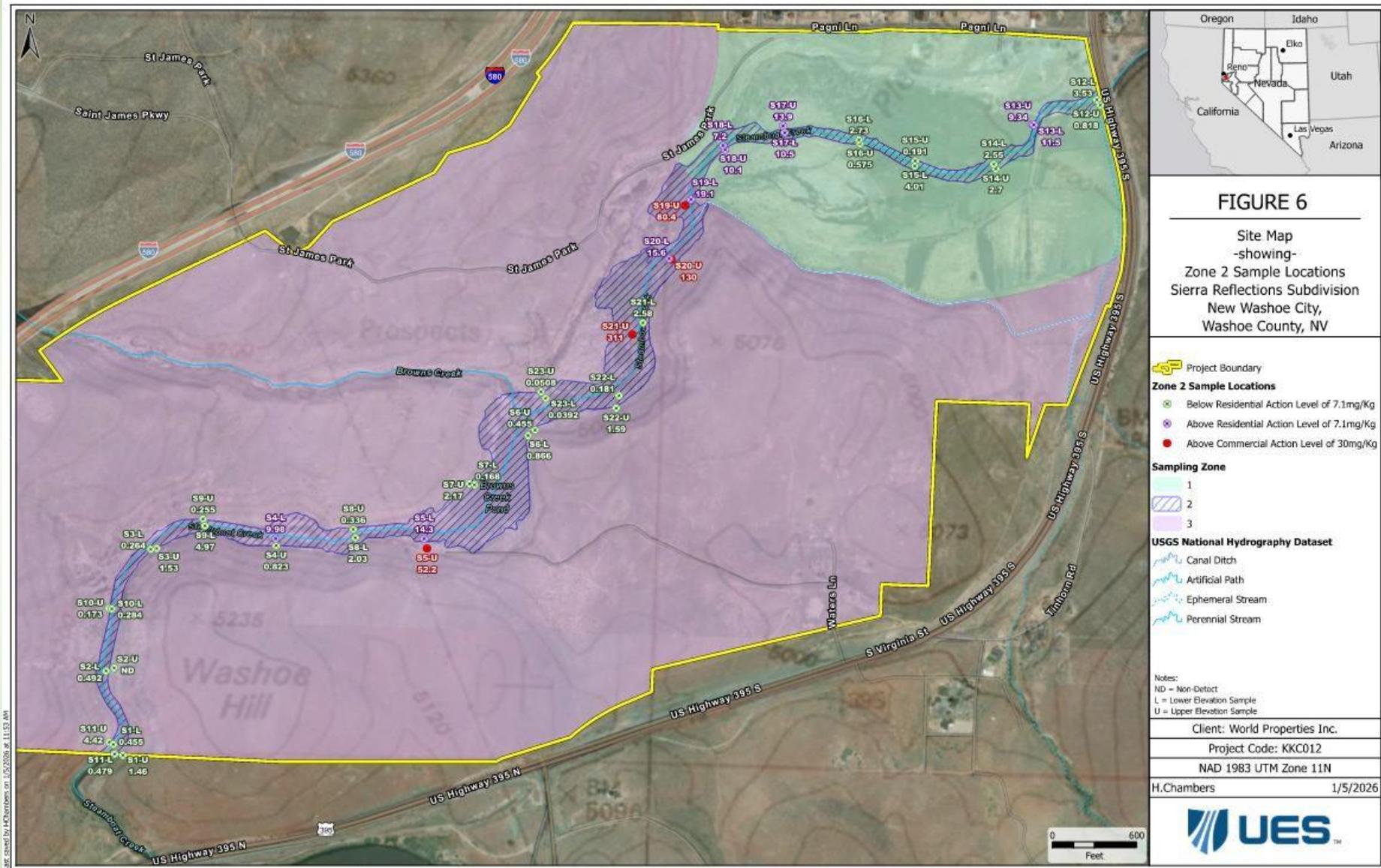
Total Site (including the creek and highland areas) -
478 samples,
92 > residential action levels (7.1 mg/kg),
18 > commercial action levels (30 mg/kg)

½ Acre Sampling Grid for Borings

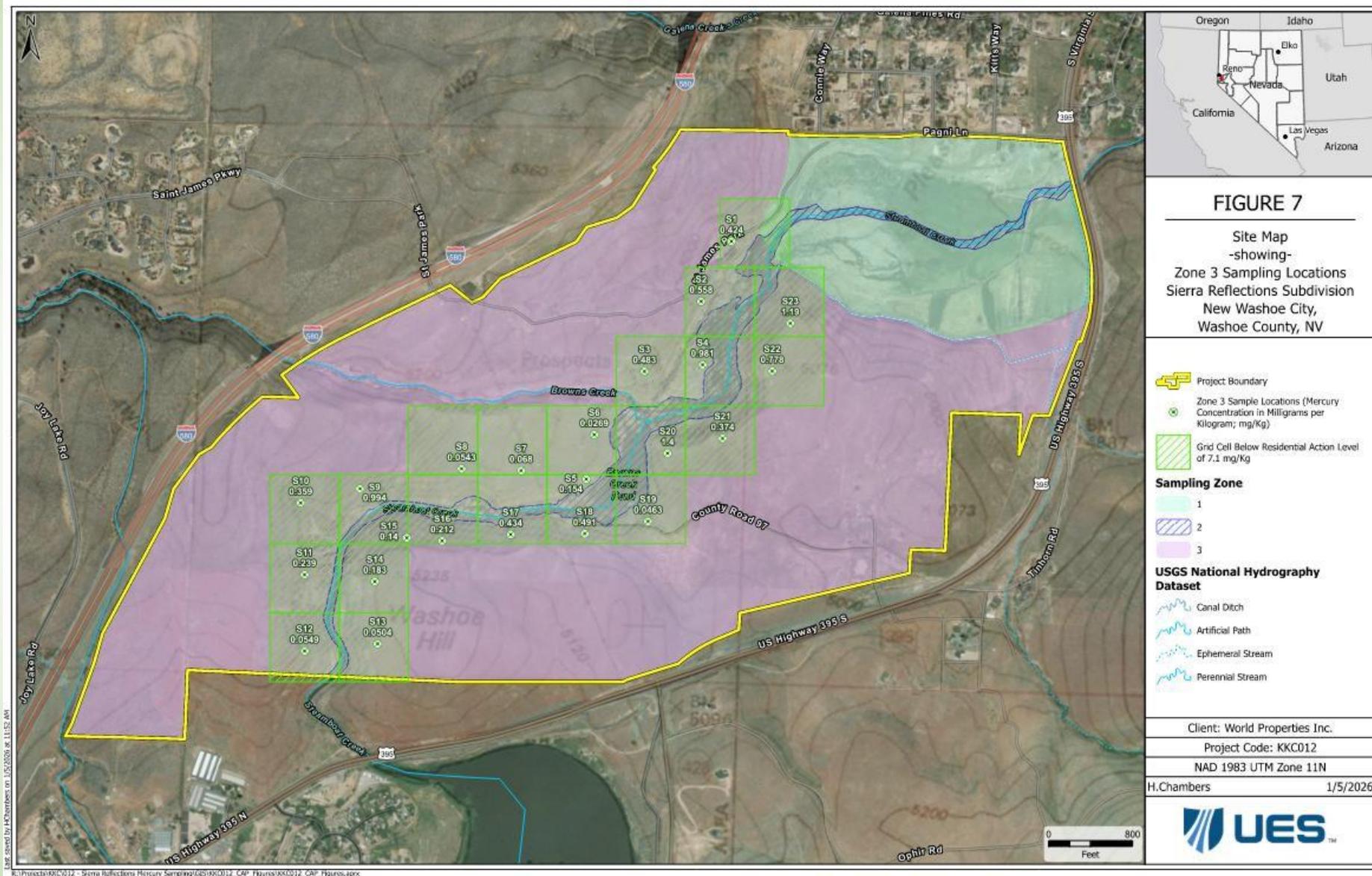
-  Grid Cell Above Commercial Action Level of 30 mgKg
-  Grid Cell Above Residential Action Level of 7.1 mgKg
-  Removed from Sampling Plan



Mercury Testing



Mercury Testing

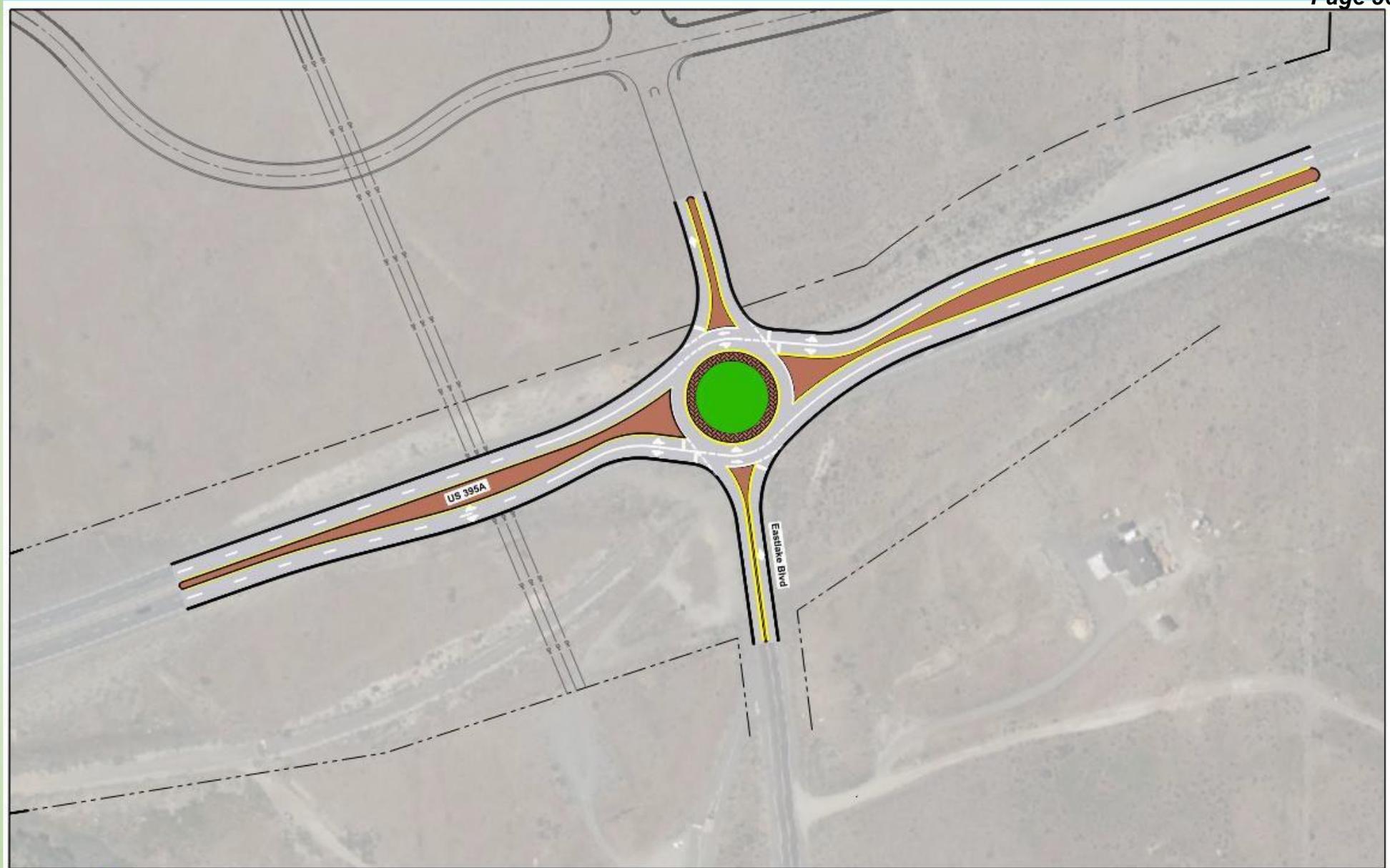


Traffic Slides

Primary Access Connections



Eastlake Roundabout



St. James Parkway Roundabout



Faultline Exhibit

SIERRA REFLECTIONS SUBDIVISION IMPROVEMENT PLANS TENTATIVE MAP FAULT LINE EXHIBIT

JOB NO: 21126.02



Legend

Quaternary Fault and Fold Database

- Latest Quaternary (<15,000 years), well contained location
- Undifferentiated Quaternary (<1.6 million years), well contained location

NOTES:

- ALL FAULT LINE INFORMATION OBTAINED FROM 1999 QUATERNARY FAULTS GIS WEBSITE.
- FOR MITIGATION ALONG FAULT LINES, PLEASE SEE UPDATED GEOTECHNICAL REPORT PREPARED BY WOODS CONSULTING ENGINEERS, LLC DATED FEBRUARY 20, 2024.

SIERRA REFLECTIONS
SUBDIVISION IMPROVEMENT PLANS
TENTATIVE MAP
FAULT LINE EXHIBIT
89521 NEVADA

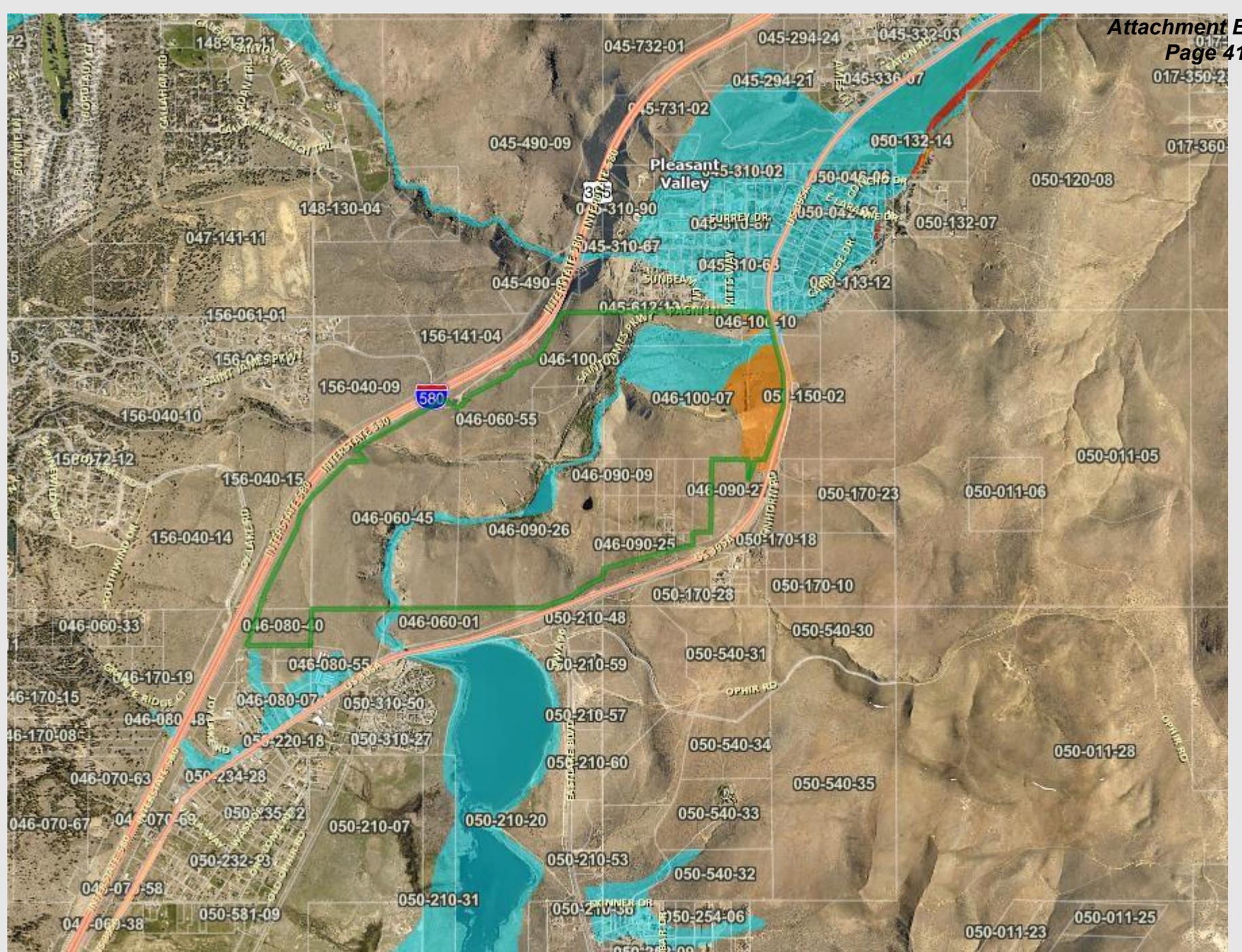
Bowman
1150 CORPORATE BLVD. | RENO, NV 89502
775-856-1150 MAIN | BOWMAN.COM
JOB NO: 21126.02 DATE: 10/08/2025

FEMA Flood Exhibit

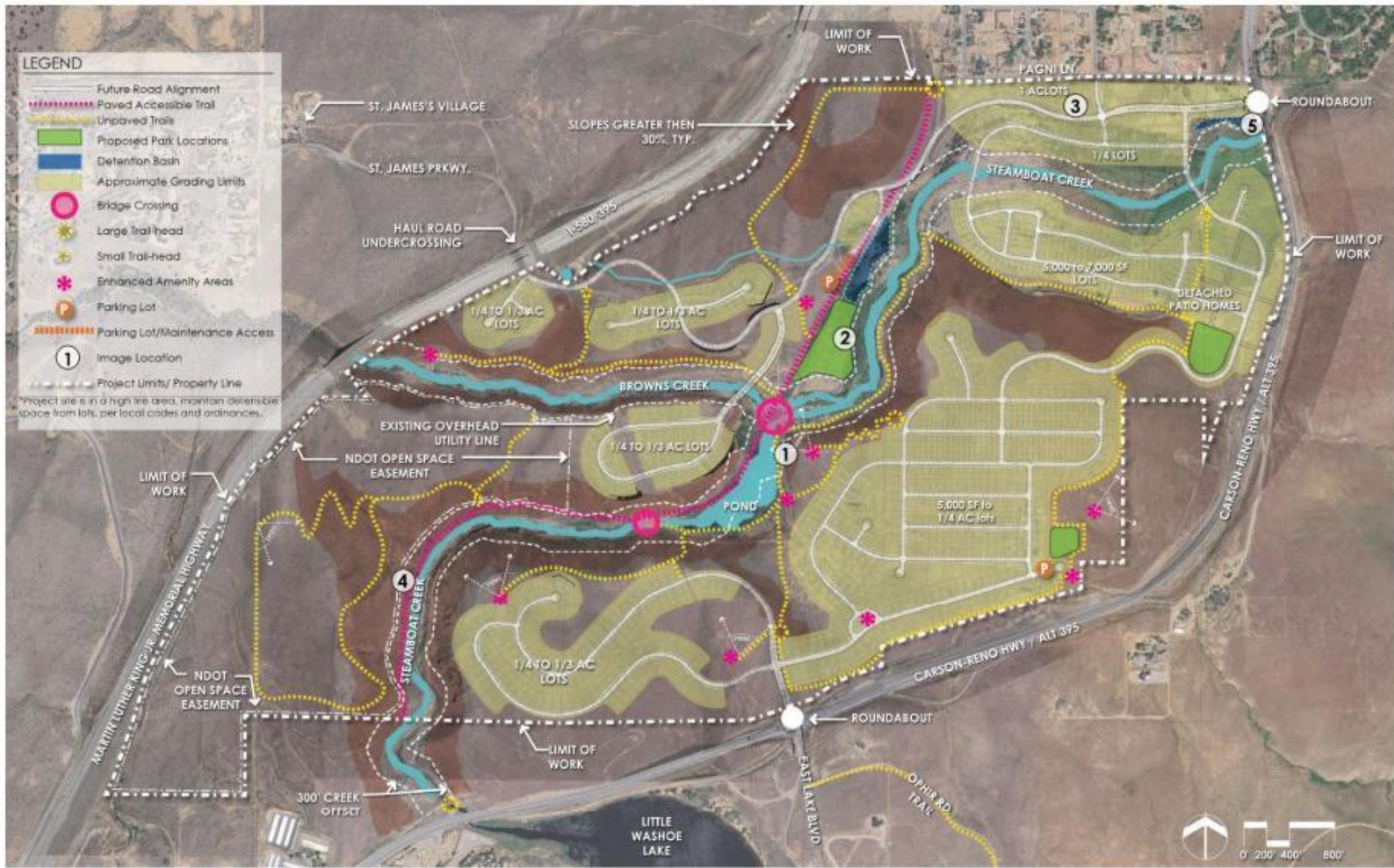
Flood Zones

 Zone AO – 1% chance of flooding (1–3-foot depths)

 Zone X – less than 0.2% Chance of Flooding



Landscape, Parks and Trails



SIERRA REFLECTIONS | OPPORTUNITIES AND CONSTRAINTS PLAN

WASHOE COUNTY, NV

CALLANDER PROJECT NUMBER: 22023 | DATE: 06.06.2024 | CALLANDER ASSOCIATES



Neighborhood Park #1



Neighborhood Parks #2 & #3



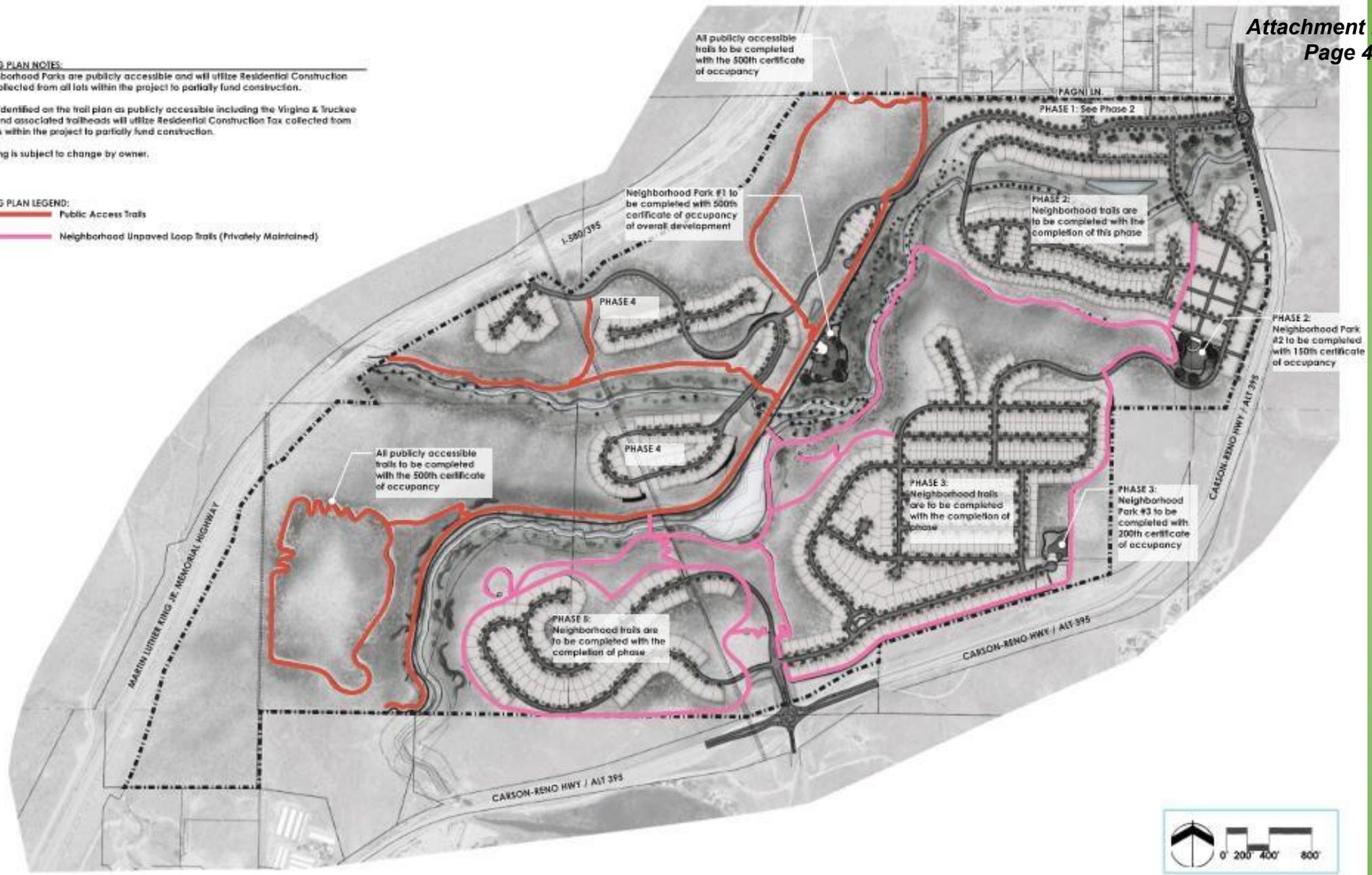
Trails

PHASING PLAN NOTES:

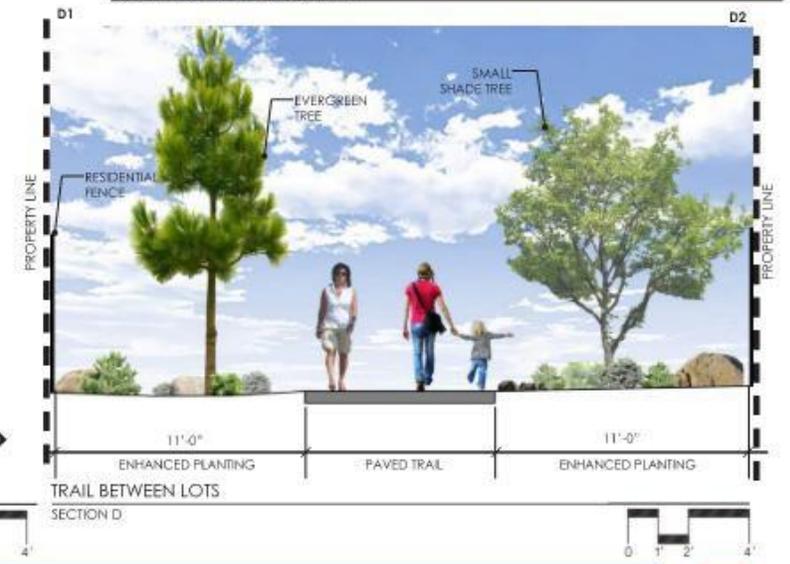
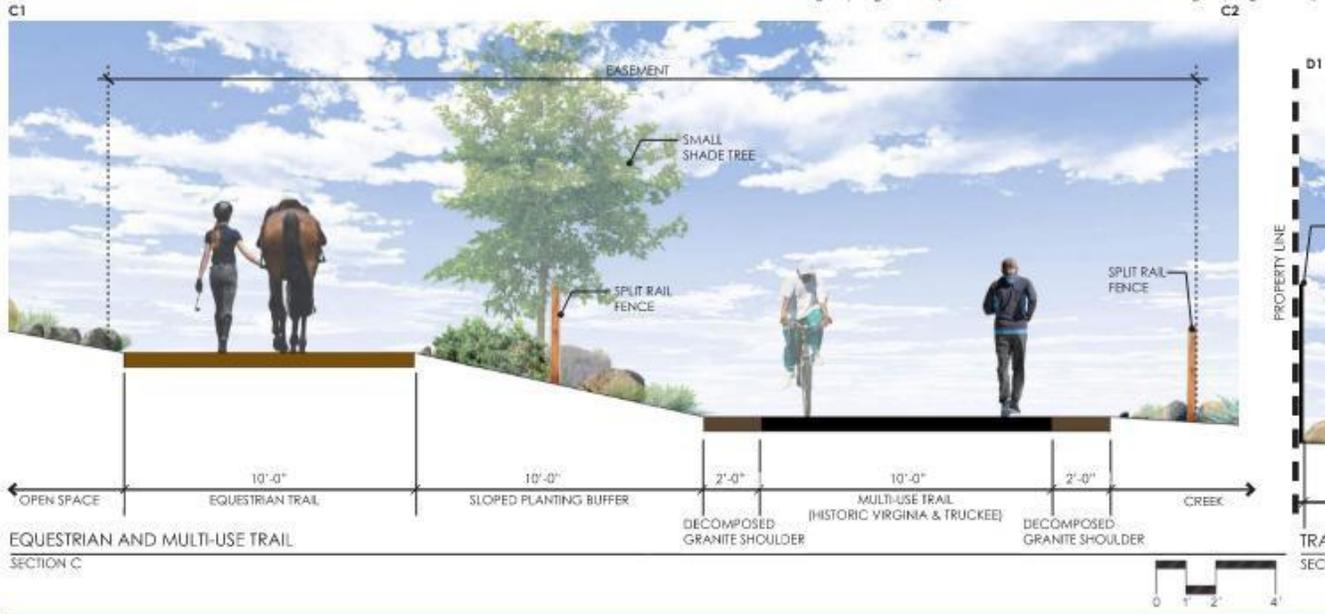
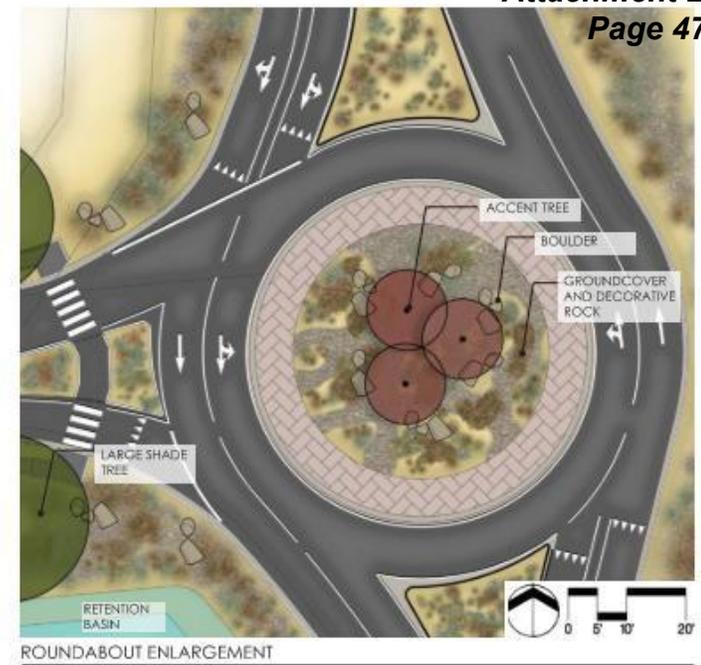
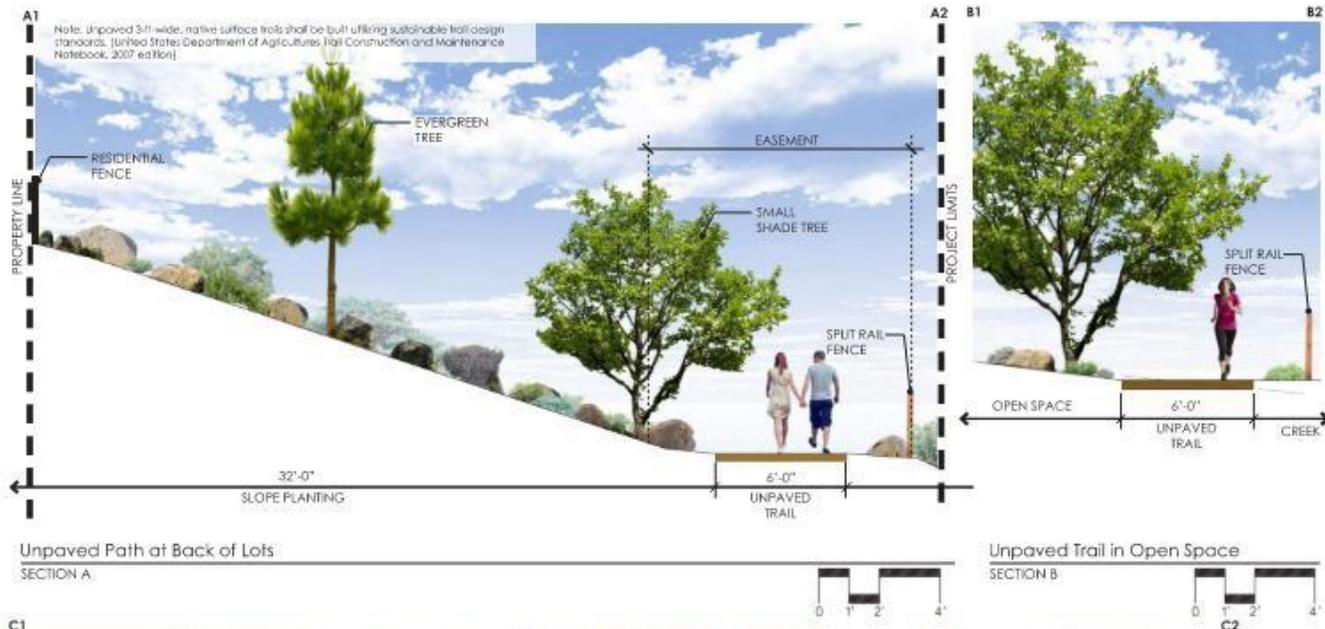
1. Neighborhood Parks are publicly accessible and will utilize Residential Construction Tax collected from all lots within the project to partially fund construction.
2. Trails identified on the trail plan as publicly accessible including the Virginia & Truckee Trail and associated trailheads will utilize Residential Construction Tax collected from all lots within the project to partially fund construction.
3. Phasing is subject to change by owner.

PHASING PLAN LEGEND:

- Public Access Trails
- Neighborhood Unpaved Loop Trails (Privately Maintained)



Trails



VISION BOARD

COMMUNITY PARK & POCKET PARK ELEMENTS



SIERRA REFLECTIONS
RENO, NV

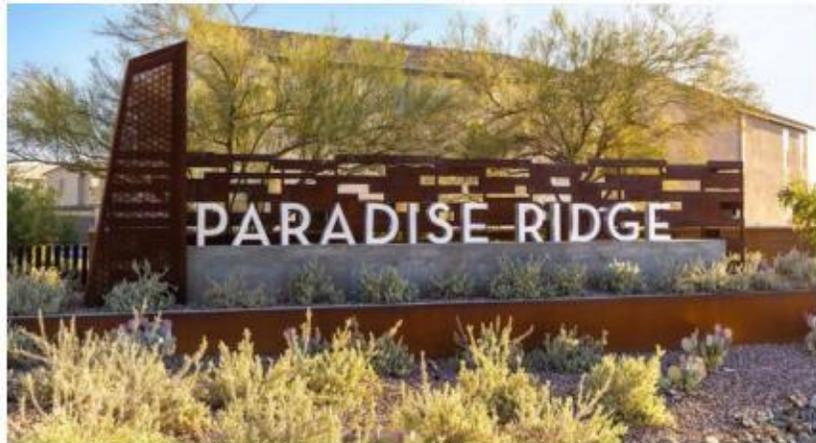
CALLANDER PROJECT NUMBER: 22823 | DATE: 07.18.2024 | CALLANDER ASSOCIATES

L-1



VISION BOARD

ROUNDBOUT, DETENTION BASIN, HIKING TRAIL, ENTRY SIGNAGE, & PLANTING



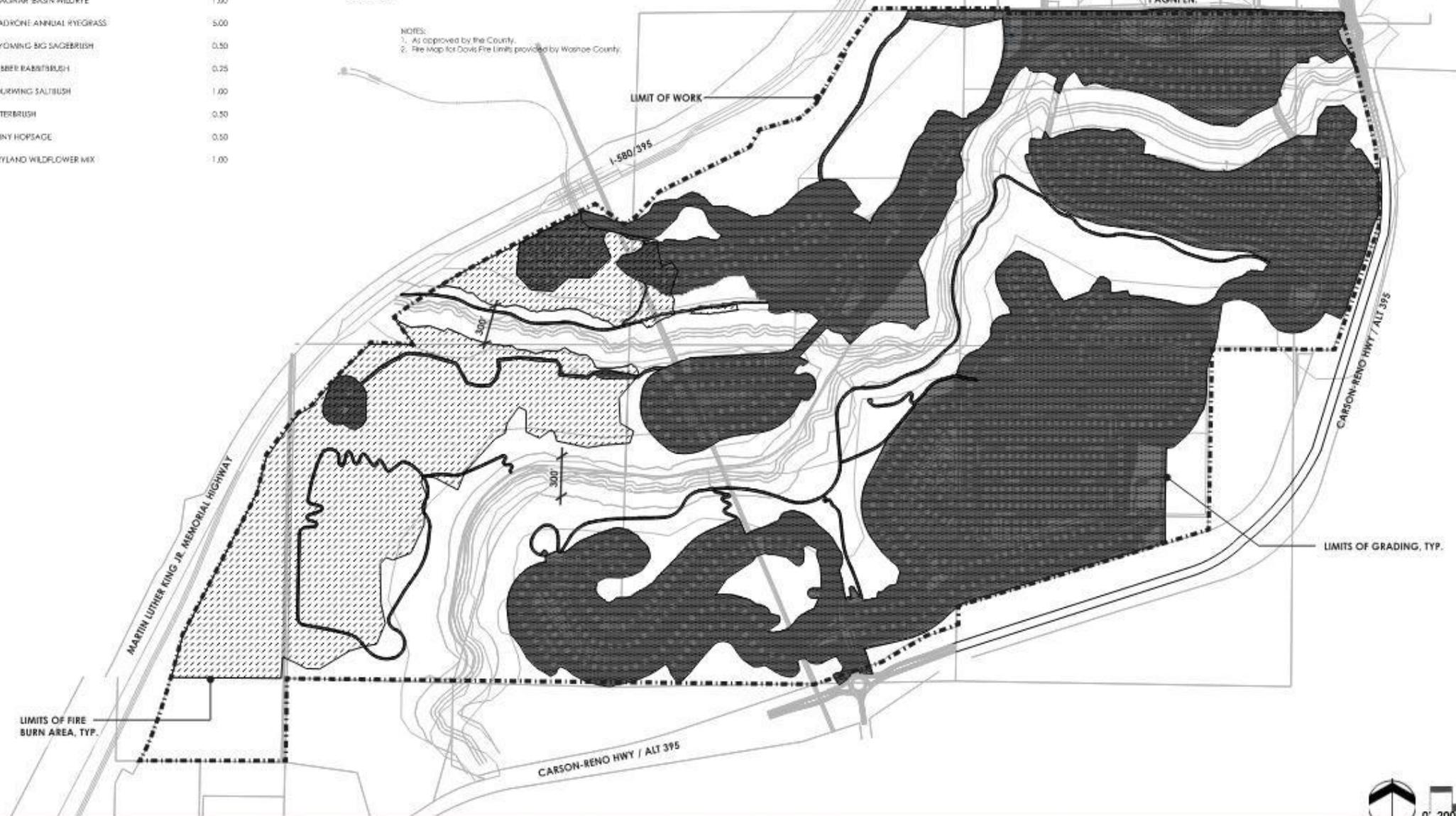
DRYLAND (NON-IRRIGATED) SEED BLEND

EPHRAIM CRESTED WHEATGRASS	5.00
SIBERIAN WHEATGRASS	5.00
SANDBERG BLUEGRASS	1.00
MAGNAR BASIN WILDRYE	1.00
MADRONE ANNUAL RYEGRASS	5.00
WYOMING BIG SAGEBRUSH	0.50
RUBBER RABBITBUUSH	0.25
FOURWING SALTBUUSH	1.00
BITTERBRUSH	0.50
SPINY HOPSAGE	0.50
DRYLAND WILDFLOWER MIX	1.00

REVEGETATION PLAN LEGEND

-  REVEGETATION AREA FOR BUILDING, ROADS, PARKS AND TRAILS (APPROX. 360 ACRES)
-  REVEGETATION AREA FOR DAVIS FIRE BURN AREA (APPROX. 123 ACRES)

NOTES:
 1. As approved by the County.
 2. Fire Map for Davis Fire Limits provided by Washoe County.



Project Dev. Stats and Phasing

Development Statistics

Following are development statistics for Sierra Reflections Common Open Space Development Tentative Subdivision Map.

Total Project Area:	759.7+/- AC
Maximum Dwelling Units Allowed: (per Zoning)	1083 Residential Lots/Units
Total Lots Proposed:	940 Residential Lots
Gross Density Allowed (per aggregation of zoning)	1.43+/- DU/AC
Gross Density Proposed:	1.24+/- DU/AC

Areas of Use

Developed Area - Residential Lots and Street Areas:	292.2+/- AC (38.5+/-% of Site)
Common Area/Open Space:	467.5+/- AC (61.5+/-% of Site)

Lot Sizes

Minimum Lot Size:	2,876+/- SF
Maximum Lot Size:	68,008+/- SF
Average Lot Size:	9,402+/- SF

Setbacks Vary Per Lot Size – Please see Setback Sheet in Sheets C5.1 & C5.2 in Tab B for details of dimensionally based lots

Min. Lot Dimensions or Size	Front	Side	Rear	Closest WC Zoning
1 Acre	30	12	30	LDS
80X140	15/20*	8	30	MDS
80X120	15/20*	8	20	MDS/4
70X140	15/20*	7	30	MDS/4
70X120	15/20*	7	25	MDS/4
70X100	15/20*	7	20	HDS
60X110	15/20*	6	20	HDS
50X100	15/20*	5	15	HDS
45X110	15/20*	5	15	HDS
Patio Homes	10/15/20**	5***	10	LDU

Notes - * Multiple Front Setback Listing equates to setback to porch/house or garage as measured from public street ROW

** - Patio Home front setback equates setback to porch/house/garage measured from public street ROW or common driveway easement

*** - Distance to side or exterior side to common driveway

SIERRA REFLECTIONS COMMON OPEN SPACE TENTATIVE MAP PHASING EXHIBIT

JOB NO: 21126.02



SIERRA REFLECTIONS
COMMON OPEN SPACE
TENTATIVE MAP
PHASING PLAN

89521 NEVADA

Bowman

1150 CORPORATE BLVD. | RENO, NV 89502
775-856-1150 MAIN | BOWMAN.COM

JOB NO: 21126.02 DATE: 07/08/2025

SHEET 1 OF 1

Lot and Park Phasing Table

	Lots/Phase	Park Phasing
Phase 1	8 Lots	See Phase 2
Phase 2	304 Lots	Neighborhood Park 2 by 150 th C of O in Phases 1 & 2
Phase 3	409 Lots	Neighborhood Park 3 by 200 th C of O in Phase 3
Phase 4	104 Lots	Neighborhood Park 1 500 th C of O of entire project
Phase 5	115 Lots	No Parks in Phase 5 area
Total Lots	940 lots	

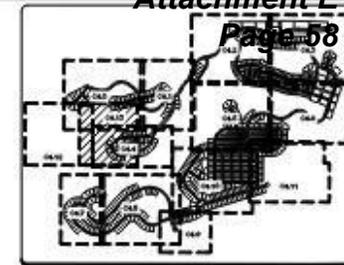
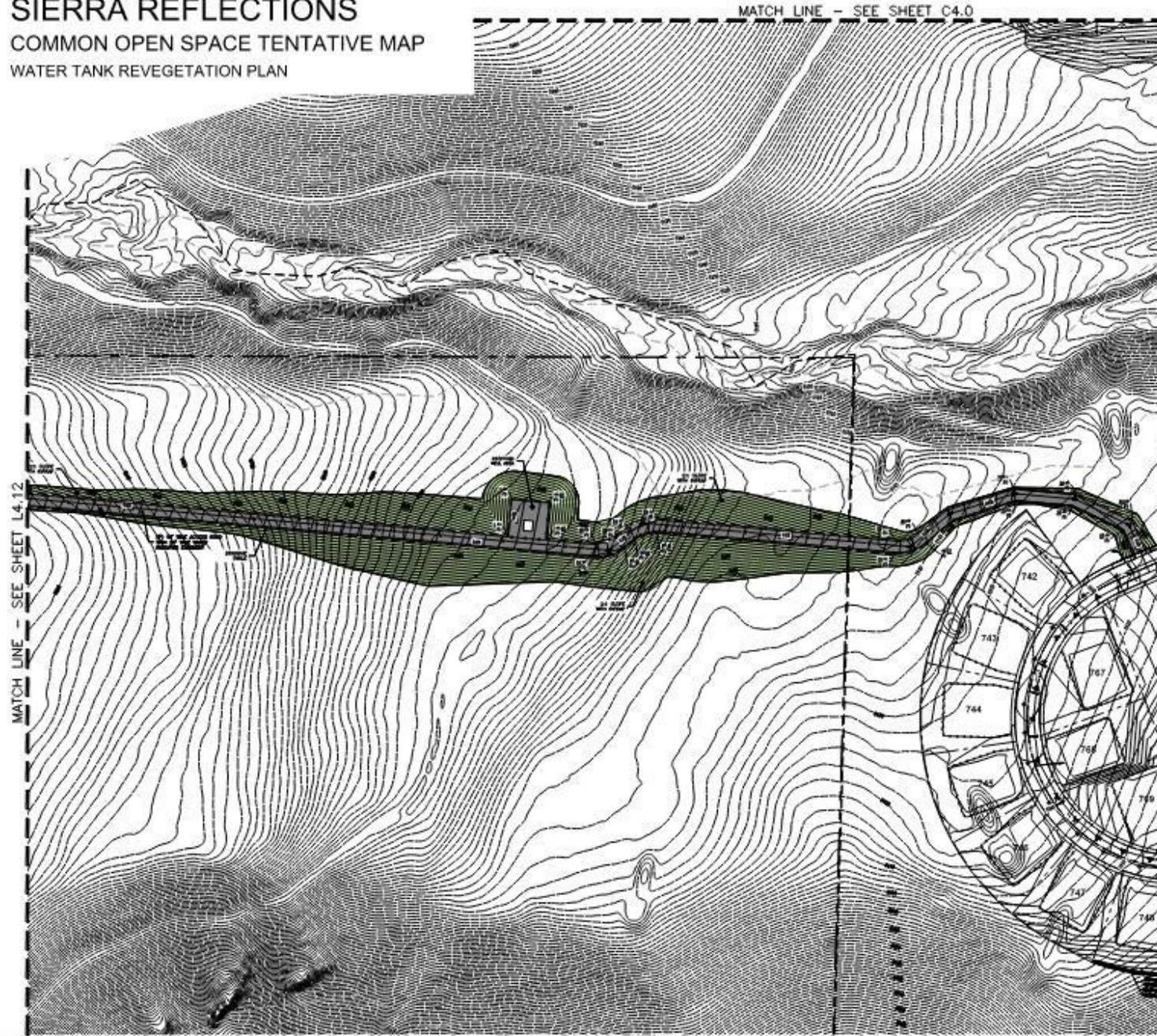
Trail Phasing

The phasing of trails is largely associated with the development of the phase for the lotting areas to the east of Steamboat Creek. However, it is understood that trail timing of trail construction is important and a significant benefit to the future residents of the project and all residents in the area, timing of trails on the west side of Steamboat Creek is tied to the number of certificates of occupancy. Suggested completion timing for these western trails is suggested to be at or before the 500th C of O of the overall subdivision. The suggested timing/phasing of parks and trails is provided on the Park and Trails Phasing plan, provided on the second page of Tab B.

SUP Slides

SUP (Water Tanks)

SIERRA REFLECTIONS COMMON OPEN SPACE TENTATIVE MAP WATER TANK REVEGETATION PLAN



REVEGETATION NOTES

1. DRYLAND SEEDING APPLIED DURING LATE FALL/EARLY WINTER OF PLANTING SEASON WILL BE SUFFICIENT TO ACHIEVE 85% ESTABLISHMENT OF SEED WITHIN THE USE OF BARELY EROSION CONTROL.
2. SEED USE SHALL BE HALF OF THE USE THE APPROVED SEED COUNTY PRIOR TO PLANTING.
3. TEMPORARY EROSION CONTROL SHALL BE THE RESPONSIBILITY OF CONTRACTOR TO APPLY AS NEEDED TO ENSURE PROPER ESTABLISHMENT OF REVEGETATION WILL BE REQUIRED.
4. FOR SLOPES STEEPER THAN 5:1 APPLY PROPOSED WITH PREVIOUS APPROVAL.

REVEGETATION LEGEND



NOTES

1. AS APPROVED BY THE COUNTY
2. THIS MAP FOR DESIGN USES DATA PROVIDED BY WASHOE COUNTY. SEE PROJECT WORK REVEGETATION PLAN.

DRYLAND (NON-FERTILIZED) SEED BLEND

SPICES	RS LB/ACRES
PERMANENT CRESTED PINE/GRASS	5.00
GENERAL BROMUSGRASS	8.00
SNOWBIRD BLSGRASS	1.00
YACONNE BASH WILDERNE	1.00
YACONNE ANNUAL PEGRAM	5.00
WYOMING WILD SAGEBRUSH	0.50
RUSSET FARBREUSH	0.25
HOOPING SAGEBRUSH	1.00
BITTERBUSH	0.00
SPRY HOPSAGE	0.50
DRYLAND WHEAT/CHRYSEME	1.00

SIERRA REFLECTIONS COMMON OPEN SPACE TENTATIVE MAP WATER TANK REVEGETATION PLAN

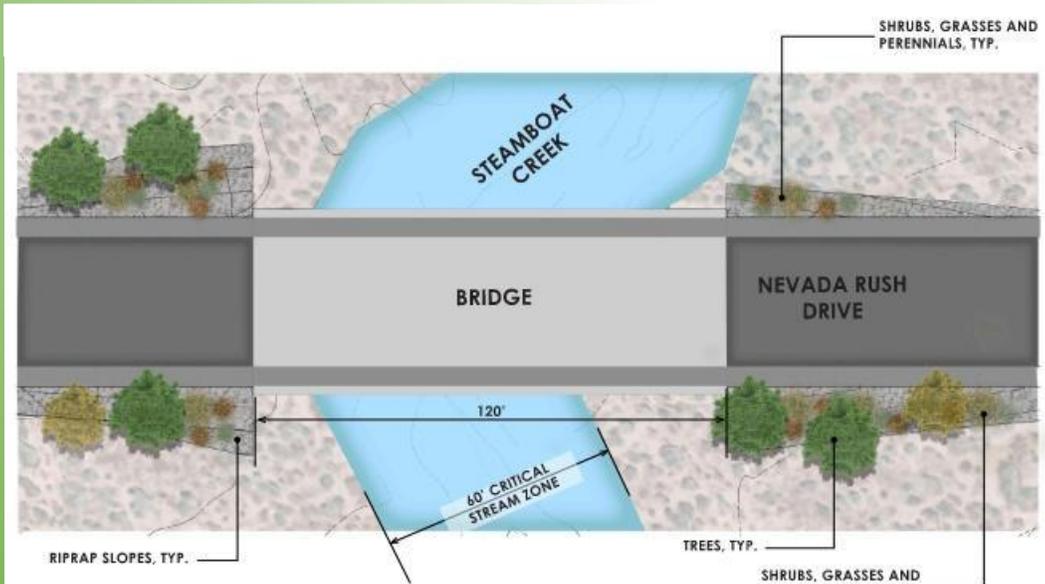
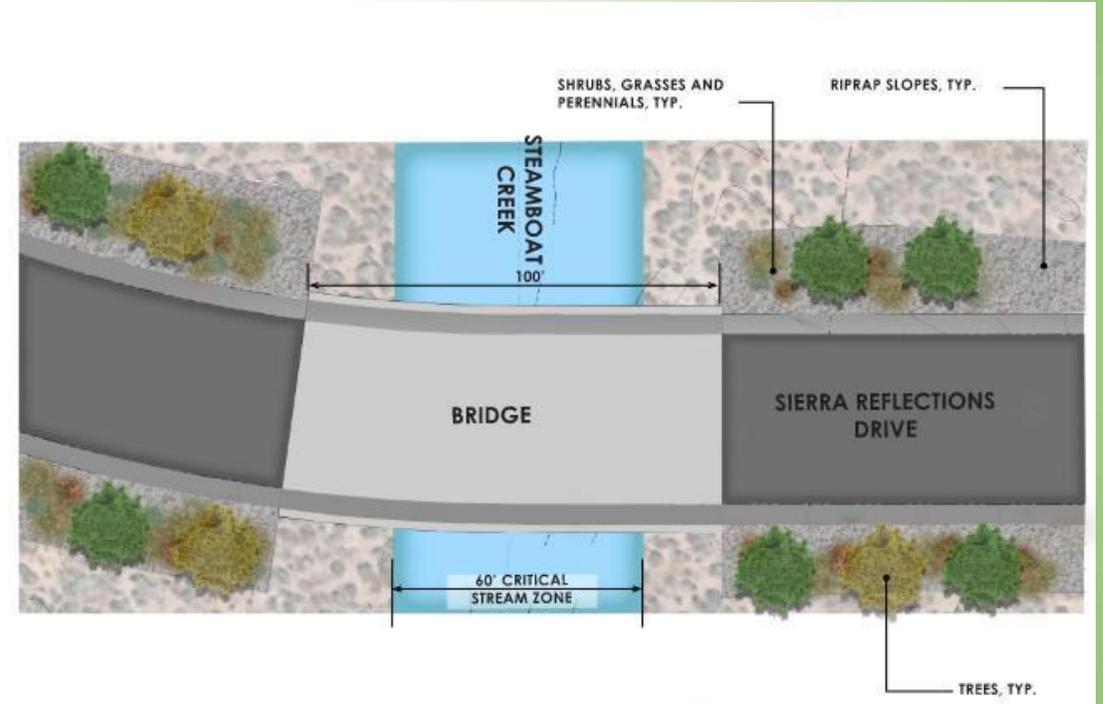
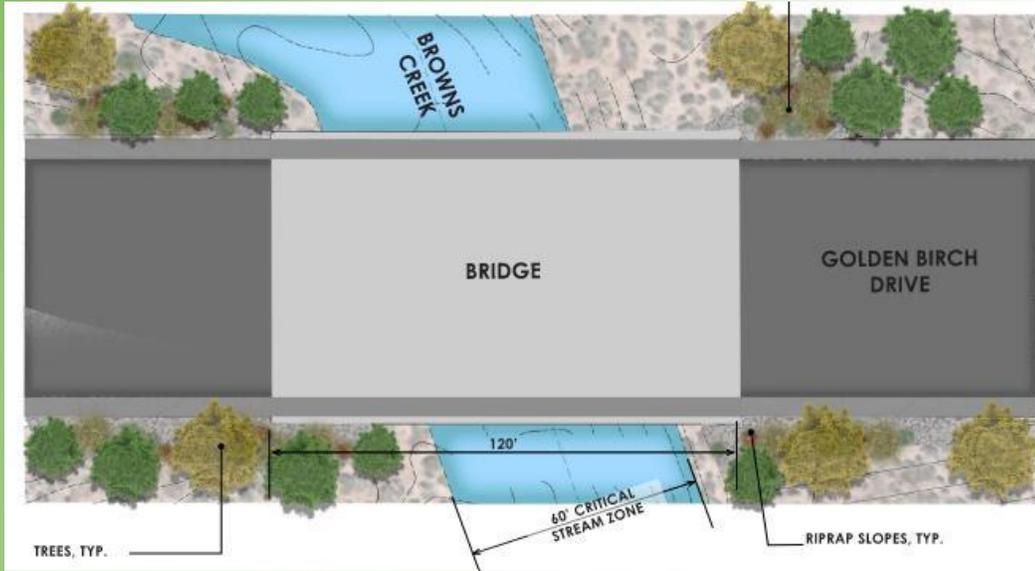
WASHOE COUNTY NEVADA



323 W. Sunset Blvd. Ste. 200
Reno, NV 89501
775.878.2830
www.cedarsouthwest.com

JOB NO: 21108.00 DATE: 10-07-2023

SUP (Bridge Crossings – Signif, Hydrologic Resources)

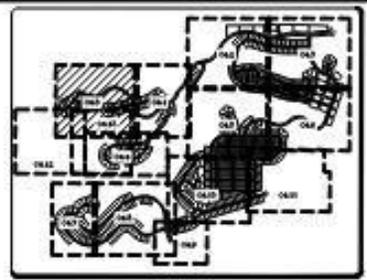


SUP (Lift Stations)



Grading Slides

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN



GRADING QUANTITIES

CUT: 4,800,000 SQ FT
 FILL: 4,200,000 SQ FT
 NET: 600,000 SQ FT

GRADING QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER-EXCAVATION, RE-USEABLE OVERSIDE, SURROUND OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOLOGICAL INVESTIGATION AND REPORTING AND INDEPENDENT ENGINEERING ANALYSIS FOR CONSTRUCTION PURPOSES.

GRADING NOTES

1. DURING THE OF FUTURE CONSTRUCTION A MINIMUM OF TWO FEET OF BARRICADE & BARRIS MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PROPERLY MAINTAINED.

HATCHING LEGEND

- OUT AREA (REF. SEC. 6.2 OF DRAFT RAP) [Red cross-hatch pattern]
- REDEVELOP REUSE AREA (REF. SEC. 6.3 OF DRAFT RAP) [Purple cross-hatch pattern]

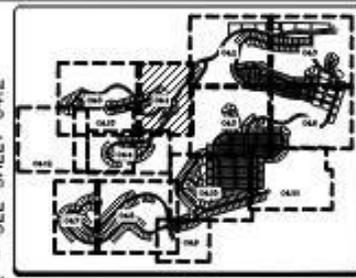
- SAMPLING LEGEND (BORINGS 0-4')**
- REMOVED FROM SURFACE PLAN (REF. SEC. 3.2.6 IN DRAFT RAP FOR SAMPLING) (REF. SEC. 3.0 IN DRAFT RAP FOR ACTION LEVELS) [Light blue box]
 - BLOW RECORDING ACTION LEVEL OF 2.0 METER (REF. SEC. 3.2.8 IN DRAFT RAP FOR SAMPLING) (REF. SEC. 3.0 IN DRAFT RAP FOR ACTION LEVELS) [Light green box]
 - BLOW RECORDING ACTION LEVEL OF 3.1 METER (REF. SEC. 3.2.9 IN DRAFT RAP FOR SAMPLING) (REF. SEC. 3.0 IN DRAFT RAP FOR ACTION LEVELS) [Light purple box]
 - BLOW RECORDING ACTION LEVEL OF 3.0 METER (REF. SEC. 3.2.5 IN DRAFT RAP FOR SAMPLING) (REF. SEC. 3.0 IN DRAFT RAP FOR ACTION LEVELS) [Light pink box]
- SHADE SHOWN AND HATCHED CONTAINED FULL PLACEMENT GUIDANCE UNIT

SIERRA REFLECTIONS
 COMMON OPEN SPACE TENTATIVE MAP
 GRADING PLAN

WASHOE COUNTY NEVADA

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 JOB NO. 21188.02 DATE: 11-06-2025

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN



MATCH LINE - SEE SHEET C4.2



MATCH LINE - SEE SHEET C4.5

- GRADING NOTES**
1. DURING THE OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF ACCESS & EGRESS MUST BE PRESENT AT ALL TIMES.
 2. ALL RETAINING WALLS ARE TO BE PROPERLY UNDERPINNED.

HATCHING LEGEND

CUT AREA
 (REF. SEC. 6.2 OF DRAFT MAP)

BENEFICIAL REUSE AREA
 (REF. SEC. 6.3 OF DRAFT MAP)

SAMPLING LEGEND (BORINGS 0-4')

REMOVED FROM STANDARD PLAN (REF. SEC. 2.2.2 OF DRAFT MAP FOR STANDARD) (REF. SEC. 5.2 OF DRAFT MAP FOR ACTION LEVELS)	
BELOW RECONSTRUCTION ACTION LEVEL OF 2.5' depth (REF. SEC. 2.2.2 OF DRAFT MAP FOR STANDARD) (REF. SEC. 5.2 OF DRAFT MAP FOR ACTION LEVELS)	
ABOVE RECONSTRUCTION ACTION LEVEL OF 2.5' depth (REF. SEC. 2.2.2 OF DRAFT MAP FOR STANDARD) (REF. SEC. 5.2 OF DRAFT MAP FOR ACTION LEVELS)	
ABOVE RECONSTRUCTION ACTION LEVEL OF 30' depth (REF. SEC. 2.2.2 OF DRAFT MAP FOR STANDARD) (REF. SEC. 5.2 OF DRAFT MAP FOR ACTION LEVELS)	

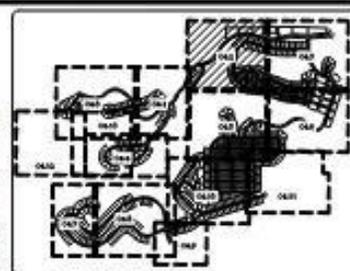
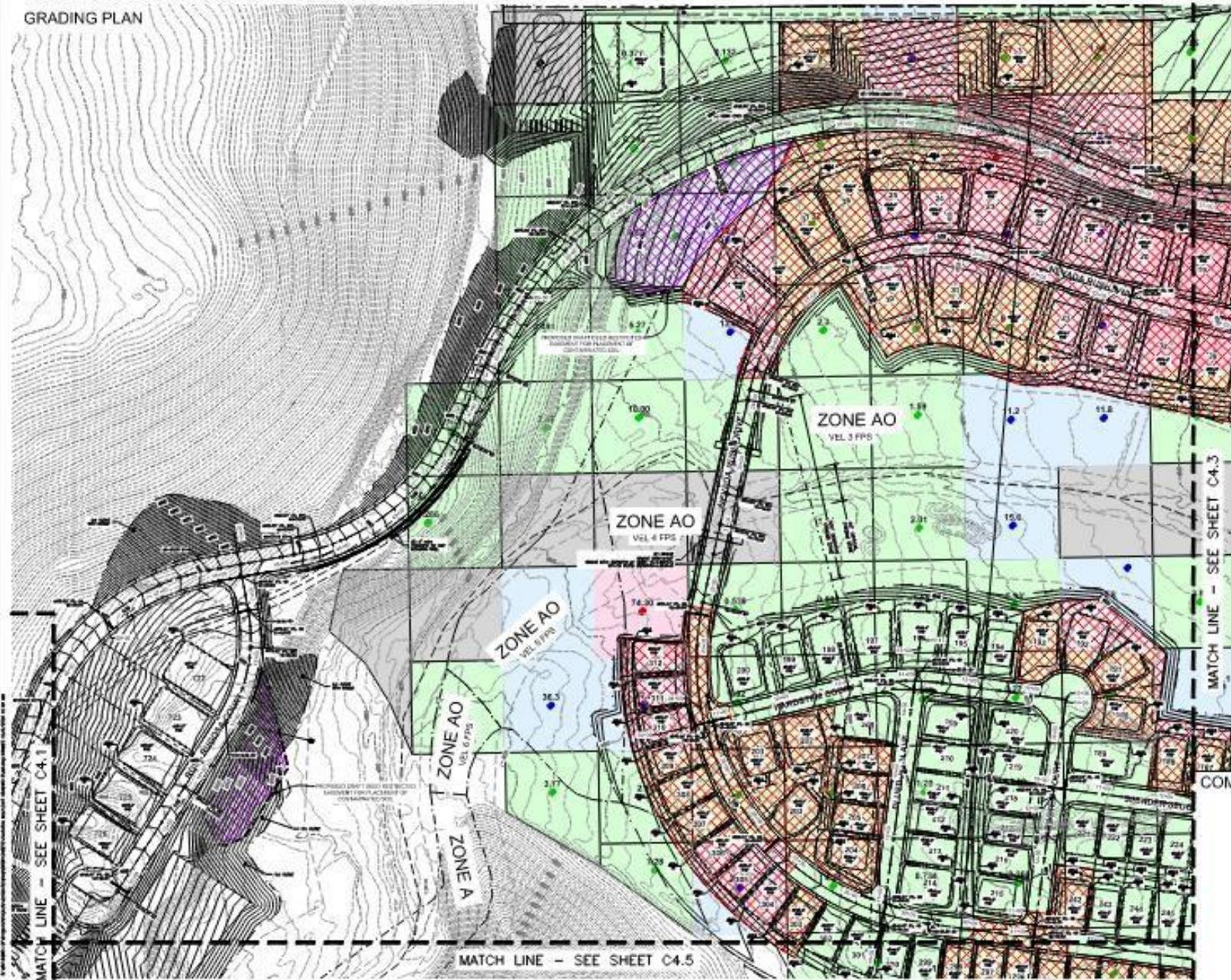
SHADE GRADATION AND REVEAL
 CONFORMED FULL PLACEMENT GRADIENT LINE

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

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SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN



- GRADING NOTES**
1. Dashed line of future construction a minimum of two feet of berms & curbs must be present at all times.
 2. All retaining walls are to be primarily masonry.

- HATCHING LEGEND**
- OUT AREA (REF. SEC. 6.2 OF DRAFT MAP) [Red cross-hatch pattern]
 - REVISIONAL REUSE AREA (REF. SEC. 6.3 OF DRAFT MAP) [Purple cross-hatch pattern]

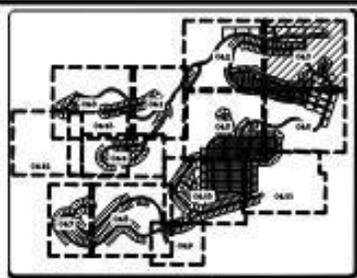
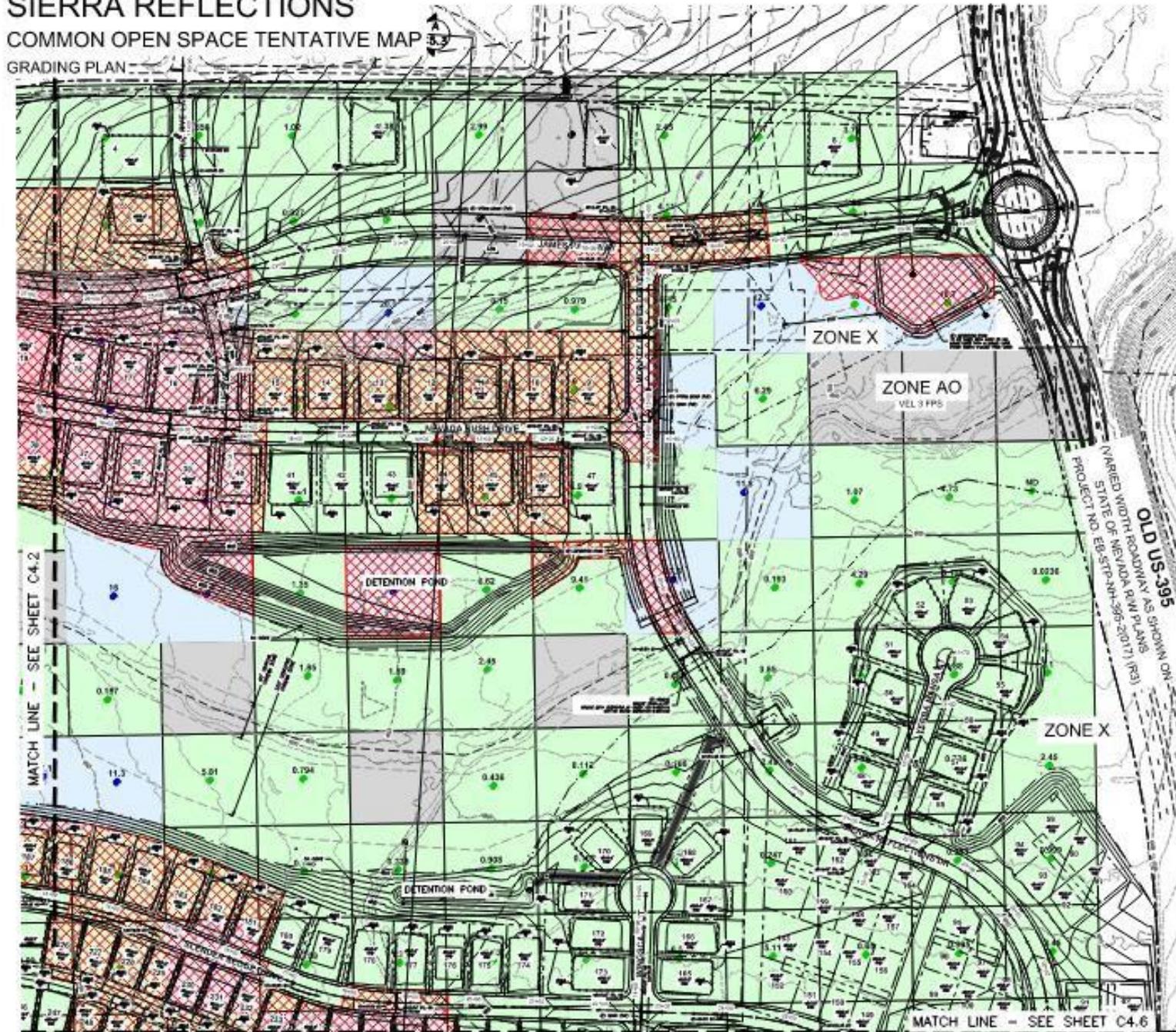
- SAMPLING LEGEND (BORINGS 0-4')**
- NEEDED WITH STANDARD PLAN (REF. SEC. 5.0 OF DRAFT MAP FOR COORDINATES) (REF. SEC. 5.0 OF DRAFT MAP FOR ACTION LEVELS) [White box]
 - NEEDED NEIGHBORLY ACTION LEVEL OF 7.5' depth (REF. SEC. 5.2.5 OF DRAFT MAP FOR COORDINATES) (REF. SEC. 5.0 OF DRAFT MAP FOR ACTION LEVELS) [Light green box]
 - NEEDED NEIGHBORLY ACTION LEVEL OF 7.5' depth (REF. SEC. 5.2.5 OF DRAFT MAP FOR COORDINATES) (REF. SEC. 5.0 OF DRAFT MAP FOR ACTION LEVELS) [Light blue box]
 - NEEDED NEIGHBORLY ACTION LEVEL OF 20' depth (REF. SEC. 5.2.5 OF DRAFT MAP FOR COORDINATES) (REF. SEC. 5.0 OF DRAFT MAP FOR ACTION LEVELS) [Light purple box]
 - SAMPLE LOCATION AND RESULT [Symbol for sample location]
 - UNSATURATED FILL PLACEMENT BOUNDARY LINE [Symbol for boundary line]

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

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SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN



- GRADING NOTES**
1. SHOW THE FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF HEIGHT & EGRESS MUST BE PRESENT AT ALL TIMES.
 2. ALL RETAINING WALLS ARE TO BE PROPERLY SHORING.

HATCHING LEGEND

CUT AREA
(REF. SEC. 6.2 OF DRAFT RFP) [Hatched pattern]

BENEFICIAL REUSE AREA
(REF. SEC. 6.3 OF DRAFT RFP) [Cross-hatched pattern]

SAMPLING LEGEND (BORINGS 0-4')

REVISED FROM IMPROVEMENT PLAN
REF. SEC. 3.2.5 IN DRAFT RFP FOR COMPOUND
REF. SEC. 3.2.5 IN DRAFT RFP FOR ACTION LEVELS

BELOW BENEFICIAL ACTION LEVEL OF 7.5' depth
REF. SEC. 3.2.5 IN DRAFT RFP FOR COMPOUND
REF. SEC. 3.2.5 IN DRAFT RFP FOR ACTION LEVELS

Above BENEFICIAL ACTION LEVEL OF 7.5' depth
REF. SEC. 3.2.5 IN DRAFT RFP FOR COMPOUND
REF. SEC. 3.2.5 IN DRAFT RFP FOR ACTION LEVELS

Above CONSTRUCTION ACTION LEVEL OF 30' depth
REF. SEC. 3.2.5 IN DRAFT RFP FOR COMPOUND
REF. SEC. 3.2.5 IN DRAFT RFP FOR ACTION LEVELS

CHANGE (COMPOUND AND REUSE)
UNASSIGNED FILL PLACEMENT SUBMIT LINE

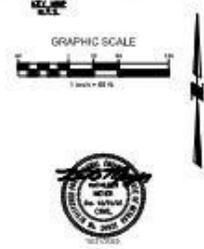
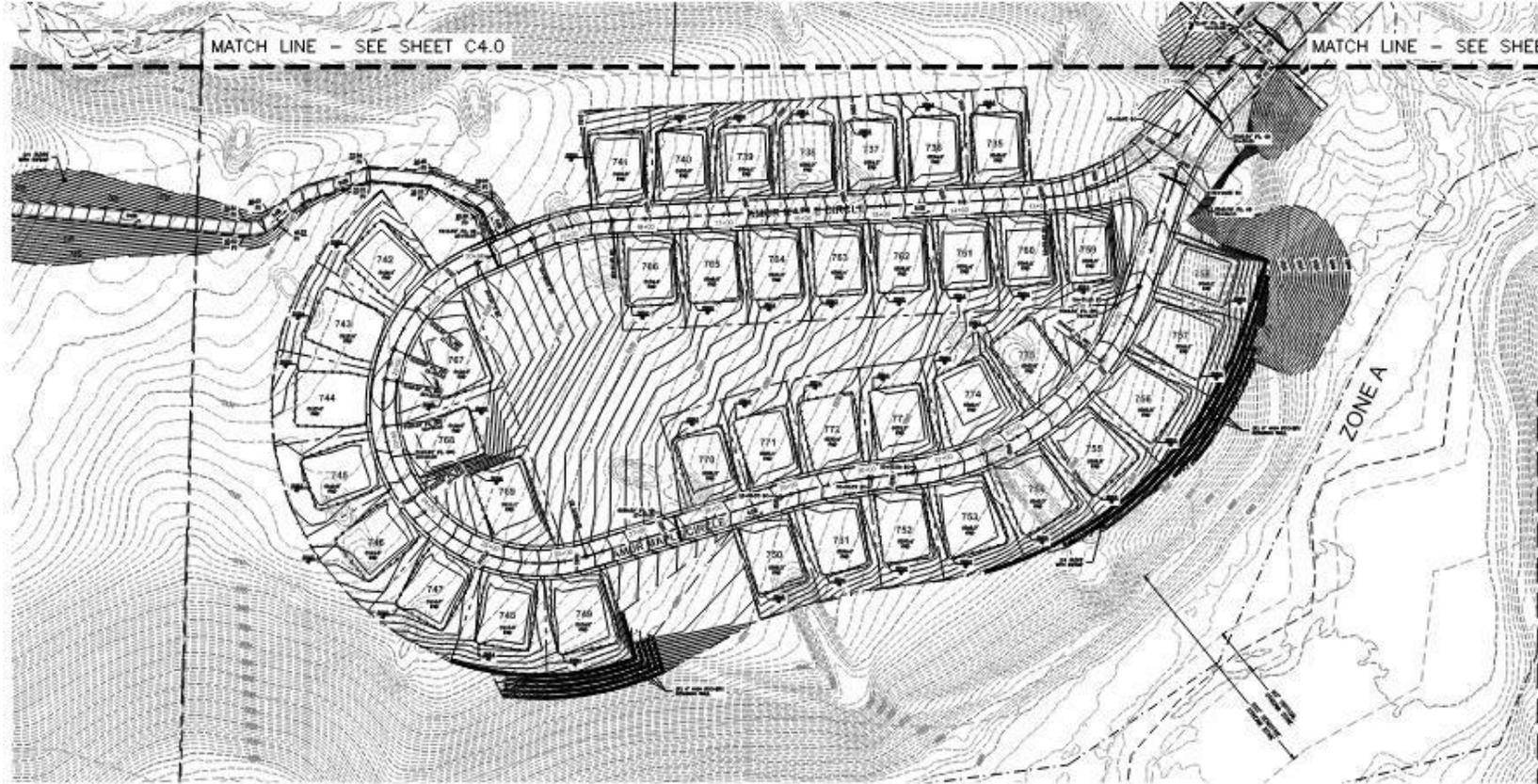
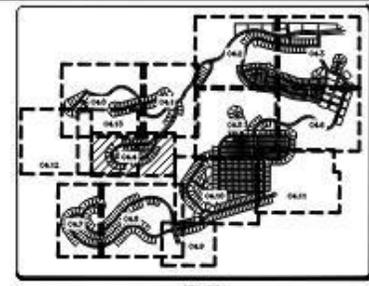
VARIED WITH ROADWAY AS SHOWN ON
STATE OF NEVADA RFP PLANS
PROJECT NO. EP-STP-141-95-20(17) (P3)

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

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SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN



- GRADING NOTES**
1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF INGRESS & EGRESS MUST BE PRESENT AT ALL TIMES.
 2. ALL RETAINING WALLS ARE TO BE PROPERLY MAINTAINED.

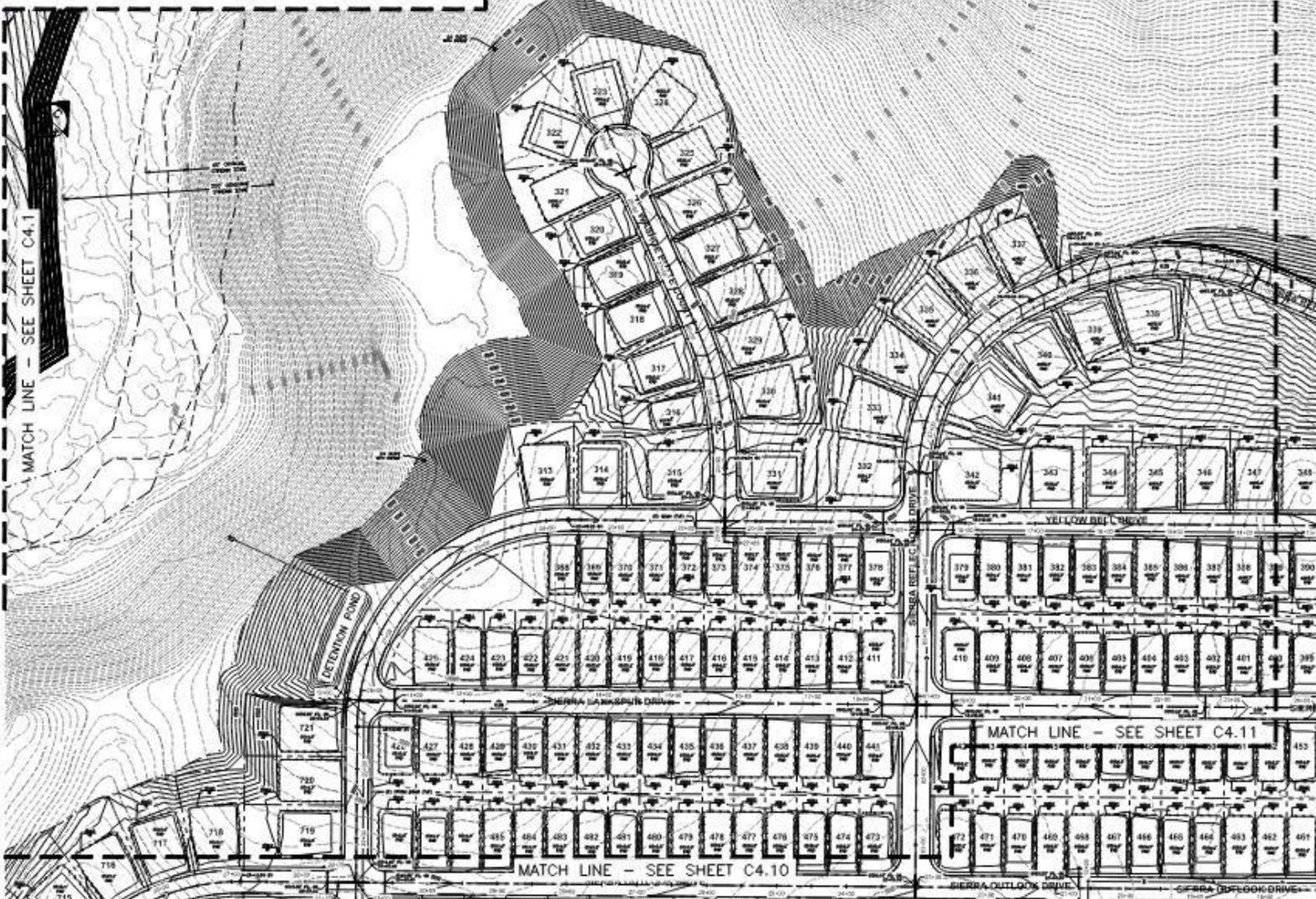
SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

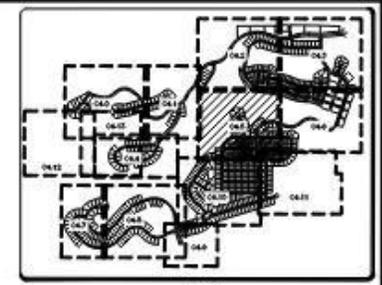
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JOB NO: 21126-02 DATE: 11-08-2025

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

MATCH LINE - SEE SHEET C4.2



MATCH LINE - SEE SHEET C4.1



- GRADING NOTES**
1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF INGRESS & EGRESS MUST BE PRESENT AT ALL TIMES.
 2. ALL RETAINING WALLS ARE TO BE PERMANENTLY MAINTAINED.

HATCHING LEGEND

CUT AREA
(REF. SEC. 6.2 OF DRAFT RAP)

BENEFICIAL REUSE AREA
(REF. SEC. 6.3 OF DRAFT RAP)

SAMPLING LEGEND (BORINGS 0-4')

REMOVED FROM SAMPLING PLAN
(REF. SEC. 3.3.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.8 IN DRAFT RAP FOR ACTION LEVELS)

BELOW RESIDENTIAL ACTION LEVEL OF 7.1 $\mu\text{g}/\text{m}^3$
(REF. SEC. 3.3.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.8 IN DRAFT RAP FOR ACTION LEVELS)

ABOVE RESIDENTIAL ACTION LEVEL OF 7.1 $\mu\text{g}/\text{m}^3$
(REF. SEC. 3.3.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.8 IN DRAFT RAP FOR ACTION LEVELS)

ABOVE COMMERCIAL ACTION LEVEL OF 30 $\mu\text{g}/\text{m}^3$
(REF. SEC. 3.3.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.8 IN DRAFT RAP FOR ACTION LEVELS)

SAMPLE LOCATION AND RESULT
CONTAMINATED FILL PLACEMENT DISCONTINUE LINE

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

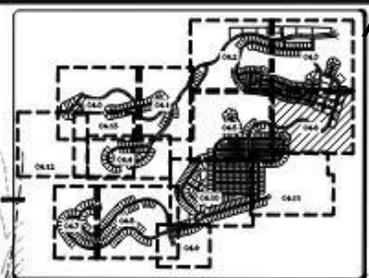
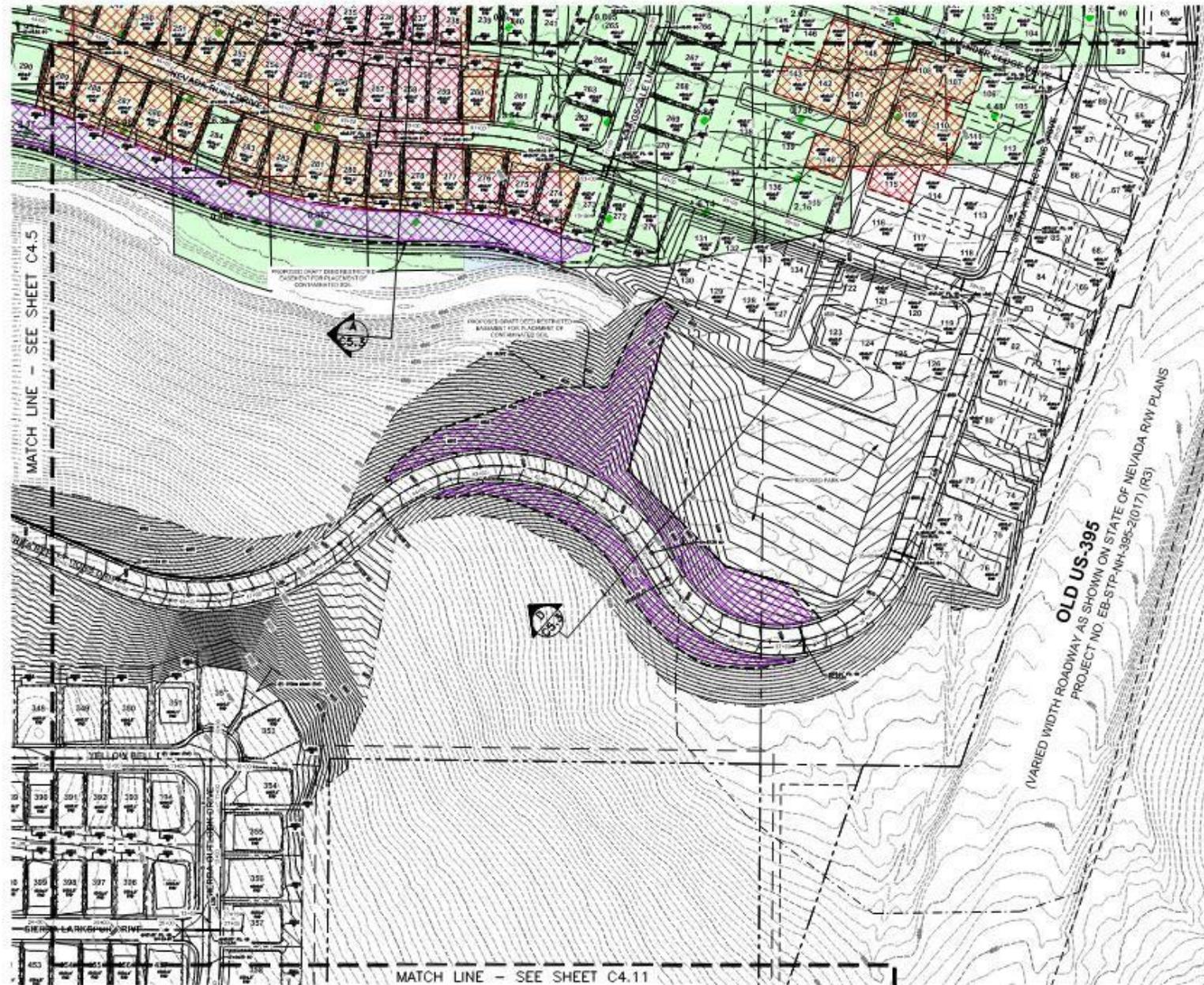
WASHOE COUNTY NEVADA



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JOB NO. 21126.02 DATE: 11-06-2023

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

MATCH LINE - SEE SHEET C4.3



GRADING NOTES

1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF INGRESS & EGRESS MUST BE PROVIDED AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PRIVATELY MAINTAINED.

HATCHING LEGEND

- CUT AREA
(REF. SEC. 6.2 OF DRAFT RAP)
- BENEFICIAL REUSE AREA
(REF. SEC. 6.3 OF DRAFT RAP)

SAMPLING LEGEND (BORINGS 0-4')

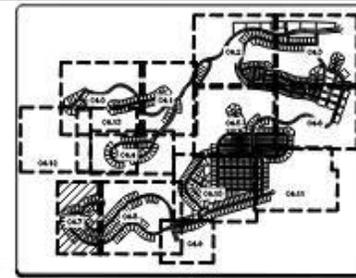
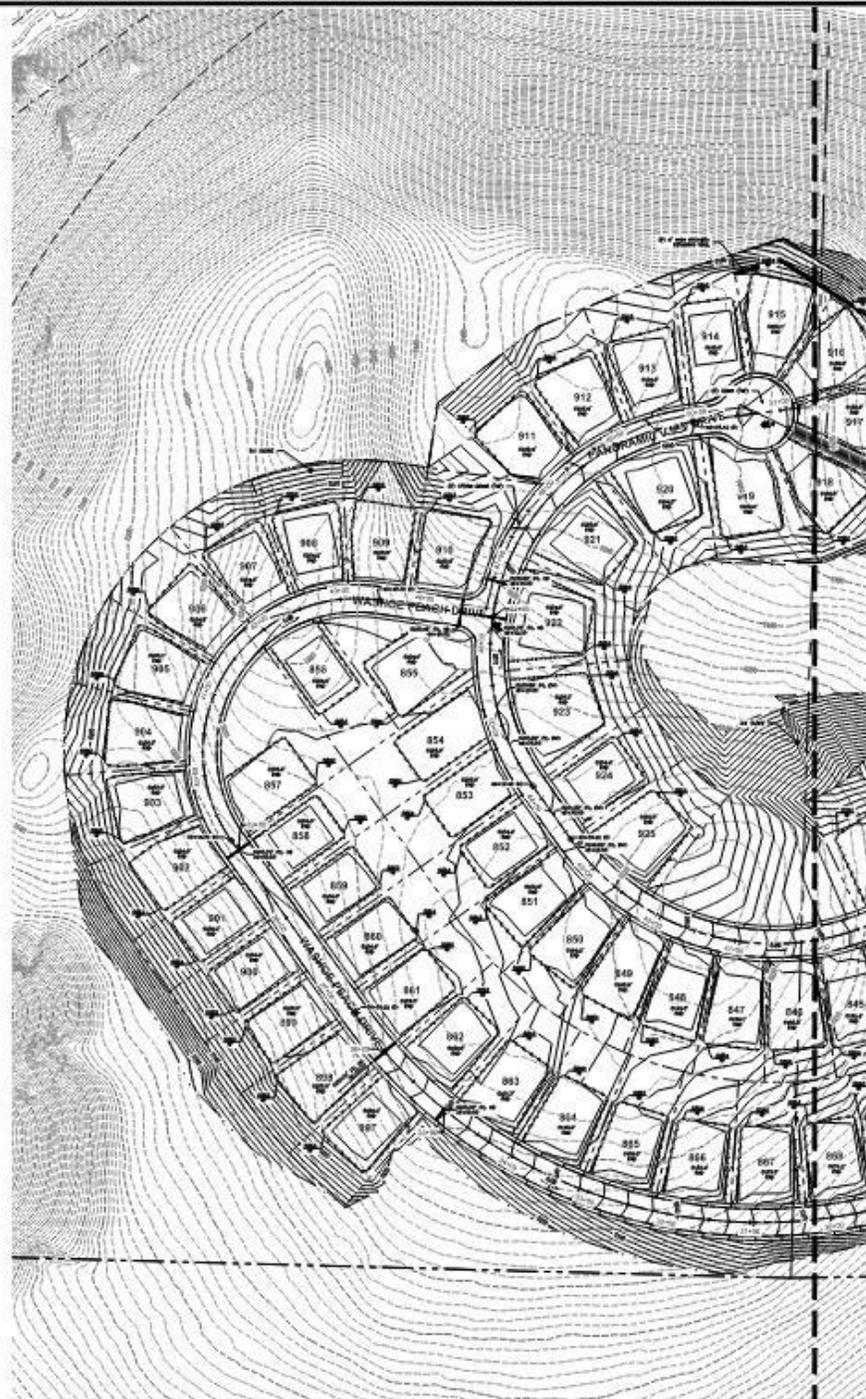
- REMOVED FROM SAMPLING PLAN
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(REF. SEC. 5.0 IN DRAFT RAP FOR ACTION LEVELS)
- BELOW RESIDUAL ACTION LEVEL OF 7.1 mg/kg
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.0 IN DRAFT RAP FOR ACTION LEVELS)
- ABOVE RESIDUAL ACTION LEVEL OF 7.1 mg/kg
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.0 IN DRAFT RAP FOR ACTION LEVELS)
- ABOVE COMMERICAL ACTION LEVEL OF 30 mg/kg
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.0 IN DRAFT RAP FOR ACTION LEVELS)
- SAMPLE LOCATION AND RESULT
- CONFIRMED FILL PLACEMENT EXISTENCE LINE

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

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JOB NO. 21126.02 DATE: 11-06-2025

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN



GRADING NOTES

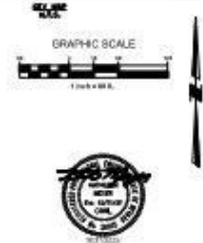
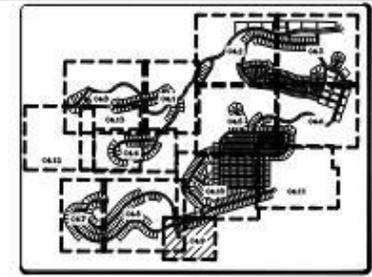
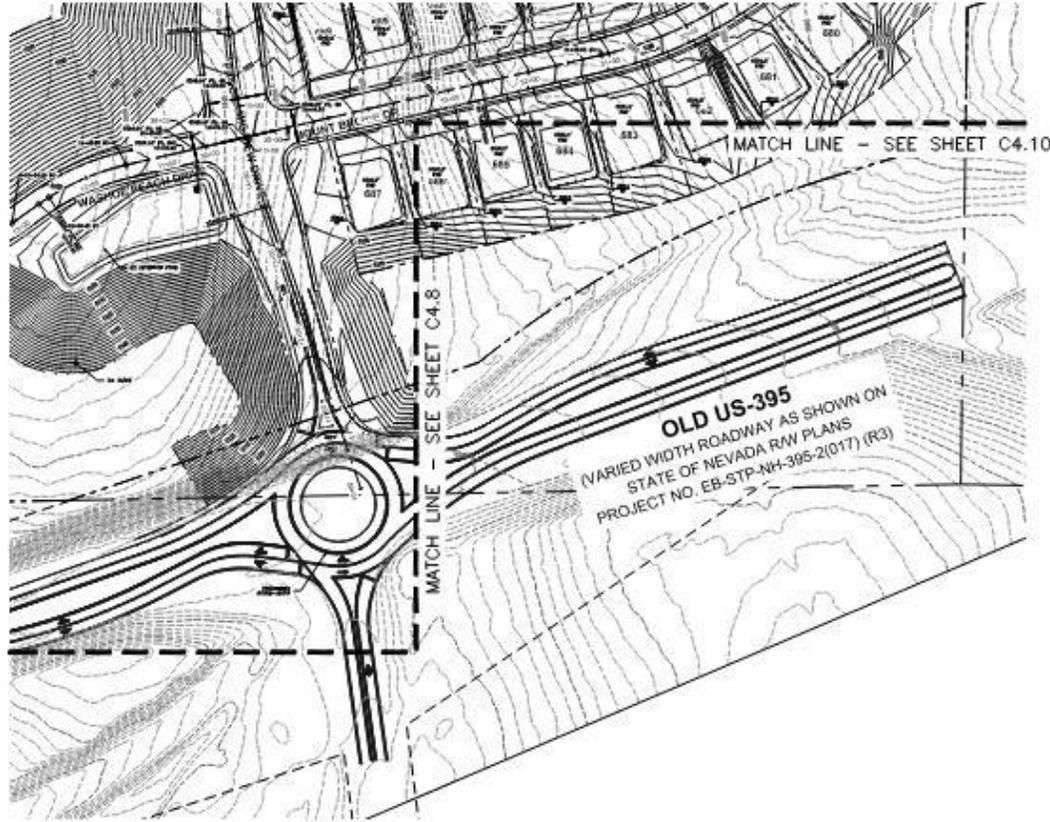
1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO FEET OF SURFACE EGRESS MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PRIVATELY MAINTAINED.

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA



SIERRA REFLECTIONS
 COMMON OPEN SPACE TENTATIVE MAP
 GRADING PLAN



- GRADING NOTES**
1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF ACCESS TO EGRESS MUST BE PRESENT AT ALL TIMES.
 2. ALL RETAINING WALLS ARE TO BE PRIVATELY MAINTAINED.

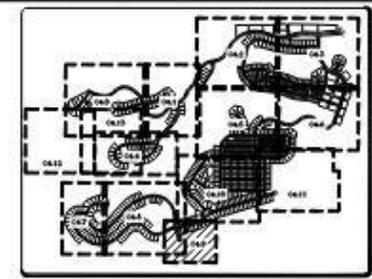
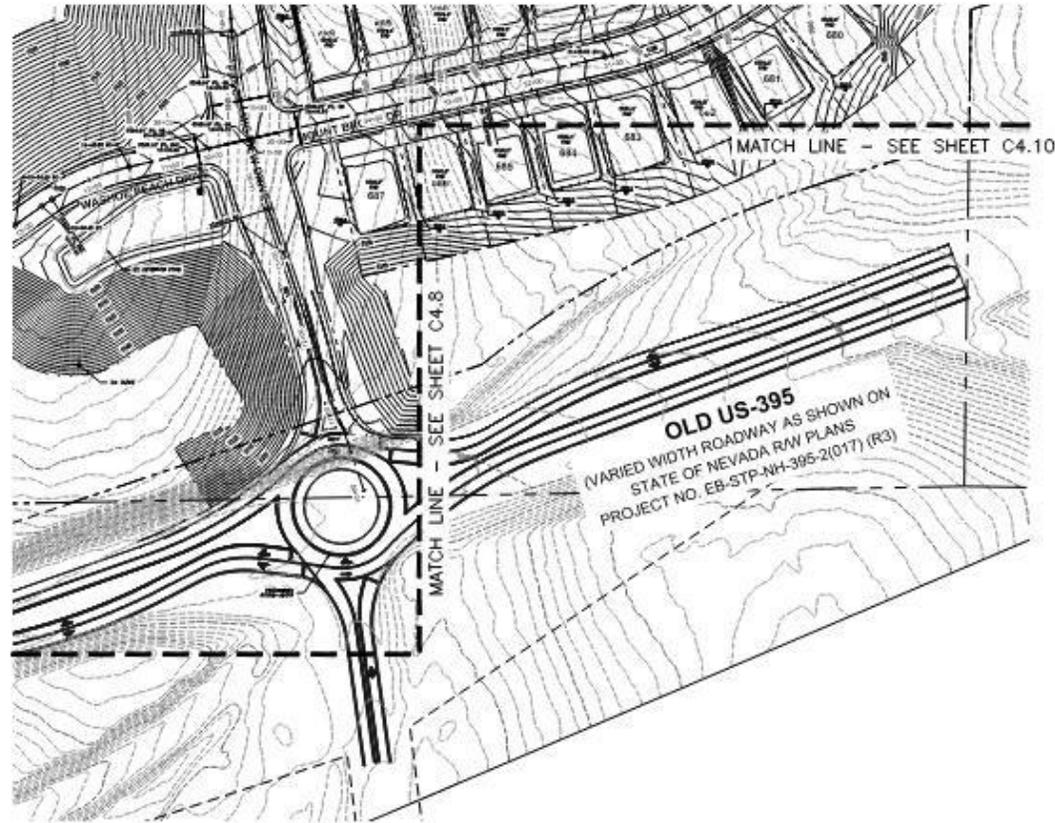
SIERRA REFLECTIONS
 COMMON OPEN SPACE TENTATIVE MAP
 GRADING PLAN

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 JOB NO. 21126.02 DATE: 11-05-2025

SIERRA REFLECTIONS COMMON OPEN SPACE TENTATIVE MAP GRADING PLAN SHEET C4.9 OF 54

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN



GRADING NOTES

1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF ACCESS TO EGRESS MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PRIVATELY MAINTAINED.

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

Bowman

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JCR NO. 211261.02 DATE: 11-06-2025

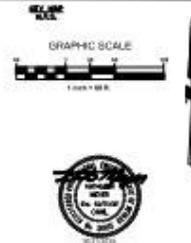
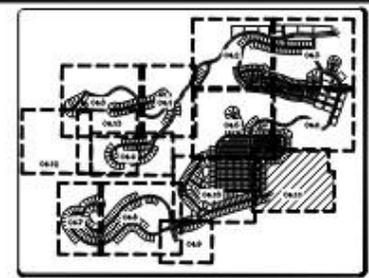
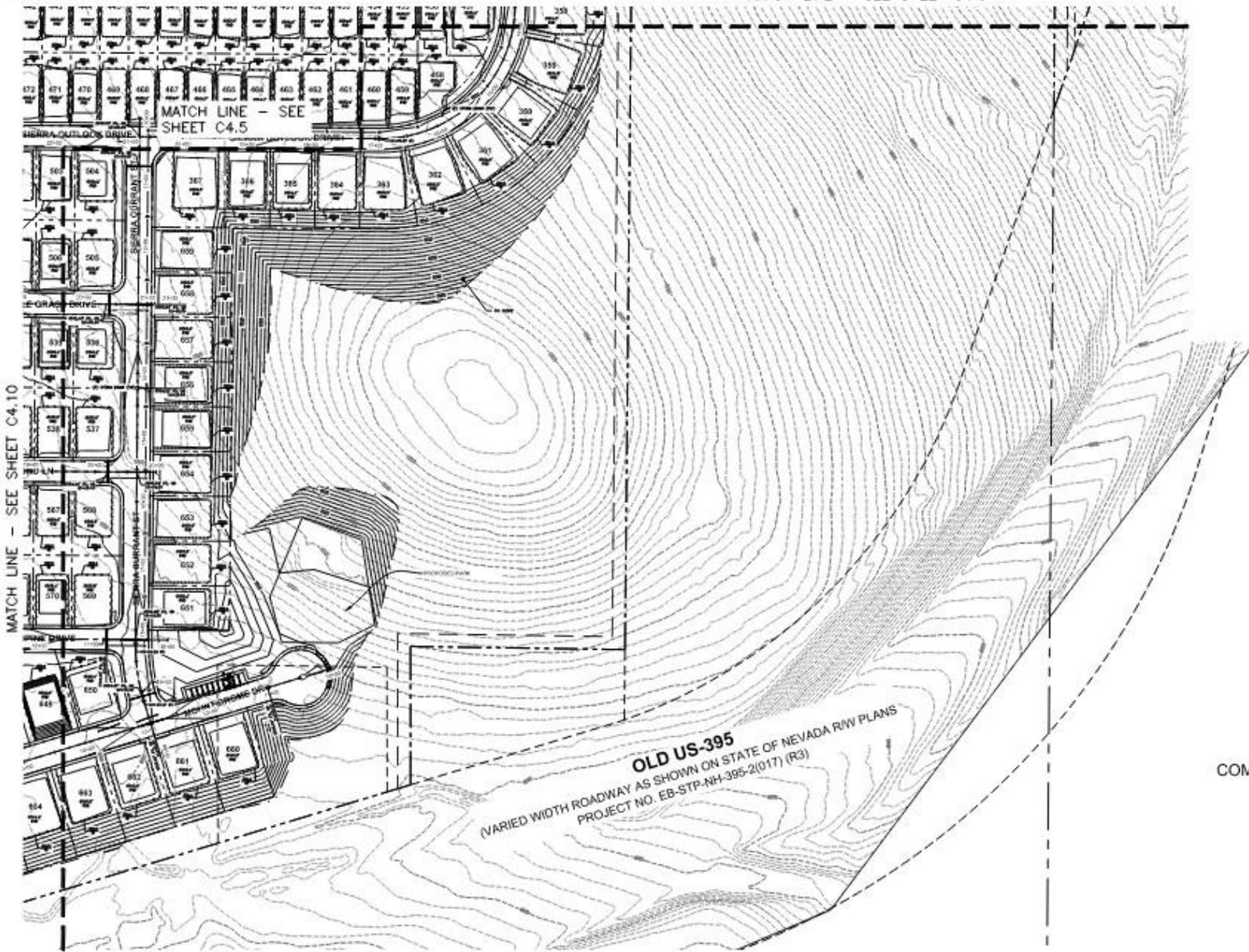
SHEET C4.9 OF 54

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN

MATCH LINE - SEE SHEET C4.6



- GRADING NOTES**
1. DURING THE OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF ACCESS & EGRESS MUST BE PRESENT AT ALL TIMES.
 2. ALL RETAINING WALLS ARE TO BE PRIVATELY MAINTAINED.

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

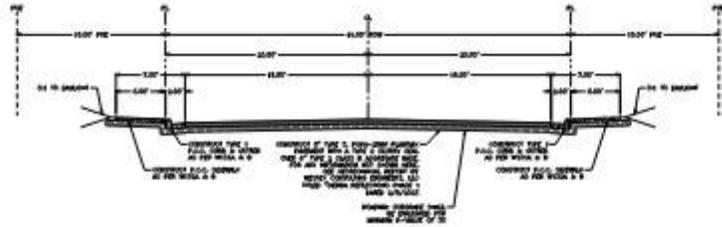
WASHOE COUNTY NEVADA

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775-856-1150 MAIN | BOWMAN.COM
JOB NO: 21126.02 DATE: 11-09-2025

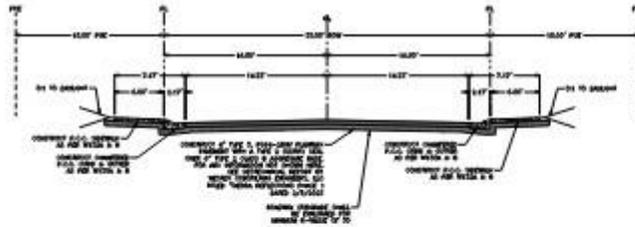
SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

DETAILS



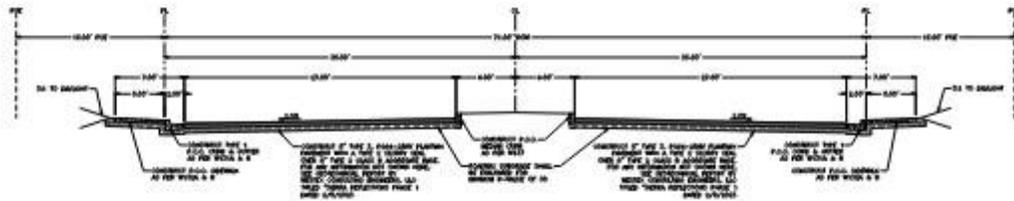
1 41' STREET ROW SECTION
SCALE: 1" = 5'



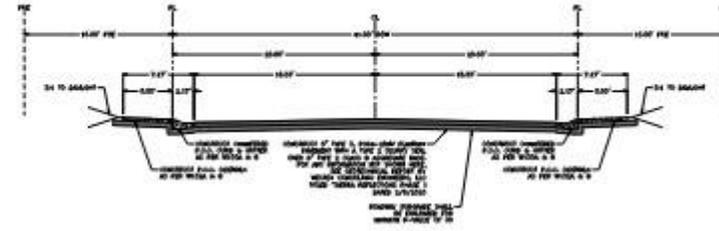
2 33' STREET ROW SECTION
SCALE: 1" = 5'



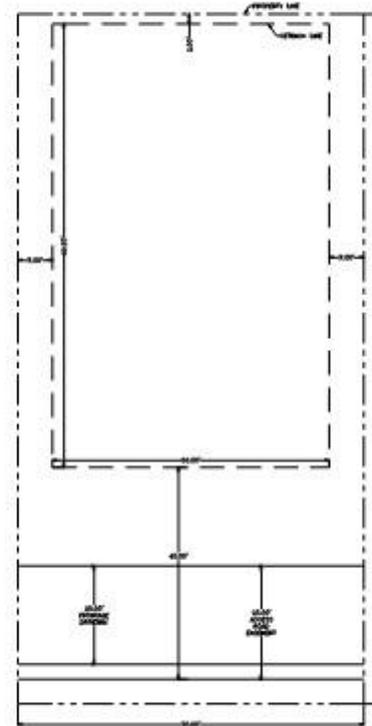
3 ACCESS ROAD
SCALE: 1" = 5'



4 71' STREET ROW SECTION
SCALE: 1" = 5'



1A 41' STREET ROW SECTION
SCALE: 1" = 5'



5 70 x 140 TYP. LOT
SCALE: 1" = 10'

LOT SETBACK NOTE
ONE ACRE LOT SETBACK DETAIL NOT SHOWN FOR CLARITY. ALL ONE ACRE LOTS WILL FOLLOW SETBACK REQUIREMENTS OUTLINED IN THE WASHOE COUNTY DEVELOPMENT CODE FOR LDC (LOW DENSITY SUBURBAN).



SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
DETAILS

WASHOE COUNTY NEVADA

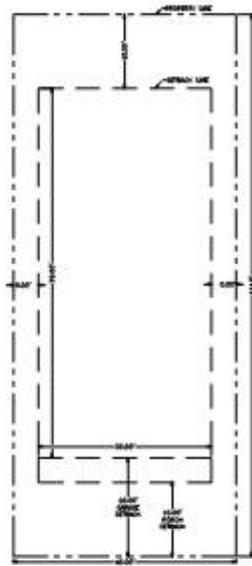
Bowman

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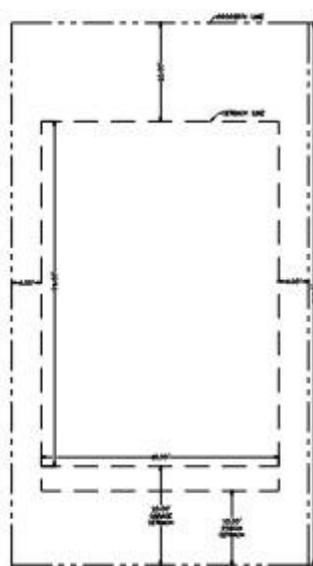
JOB NO: 21106.00 DATE: 11-05-2023

SHEET C5.0 OF 54

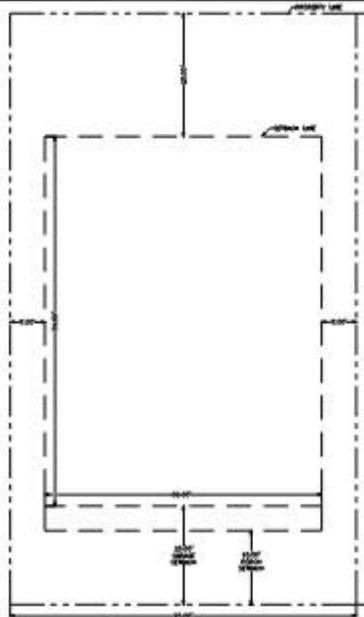
SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
DETAILS



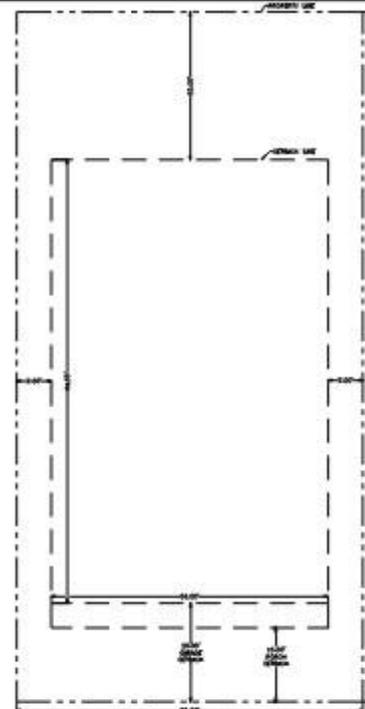
1 45 x 114.5 TYP. LOT
SCALE: 1" = 10'



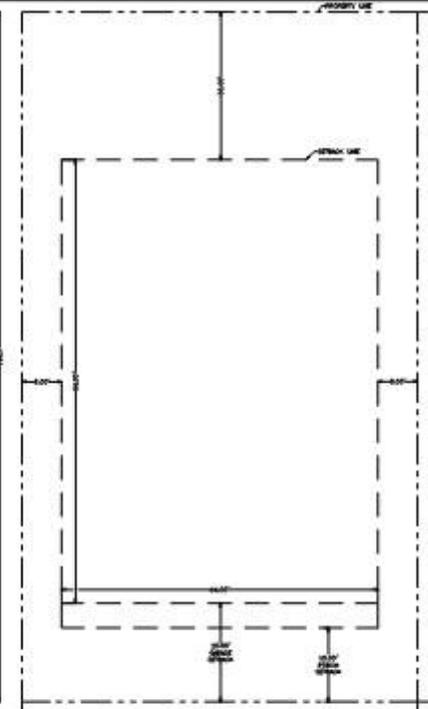
3 60 x 114.5 TYP. LOT
SCALE: 1" = 10'



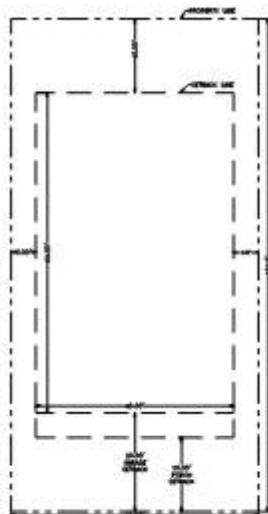
5 70 x 124.5 TYP. LOT
SCALE: 1" = 10'



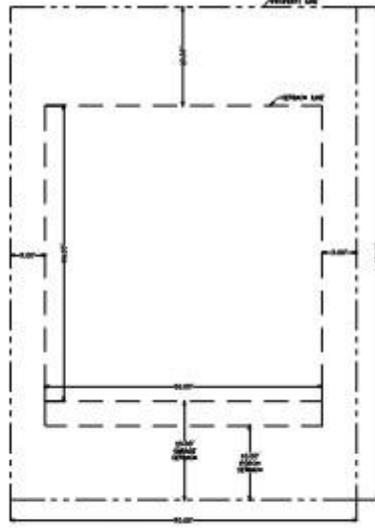
7 70 x 144.5 TYP. LOT
SCALE: 1" = 10'



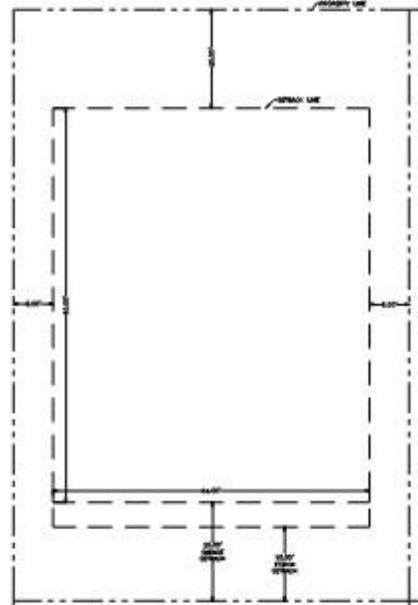
8 80 x 144.5 TYP. LOT
SCALE: 1" = 10'



2 50 x 104.5 TYP. LOT
SCALE: 1" = 10'



4 70 x 104.5 TYP. LOT
SCALE: 1" = 10'



6 80 x 124.5 TYP. LOT
SCALE: 1" = 10'

LOT SETBACK NOTE

ONE ACRE LOT SETBACK DETAIL NOT SHOWN FOR CLARITY, ALL ONE ACRE LOTS WILL FOLLOW SETBACK REQUIREMENTS OUTLINED BY THE WASHOE COUNTY DEVELOPMENT CODE FOR LDC (LOW DENSITY SUBURBAN).



SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
DETAILS

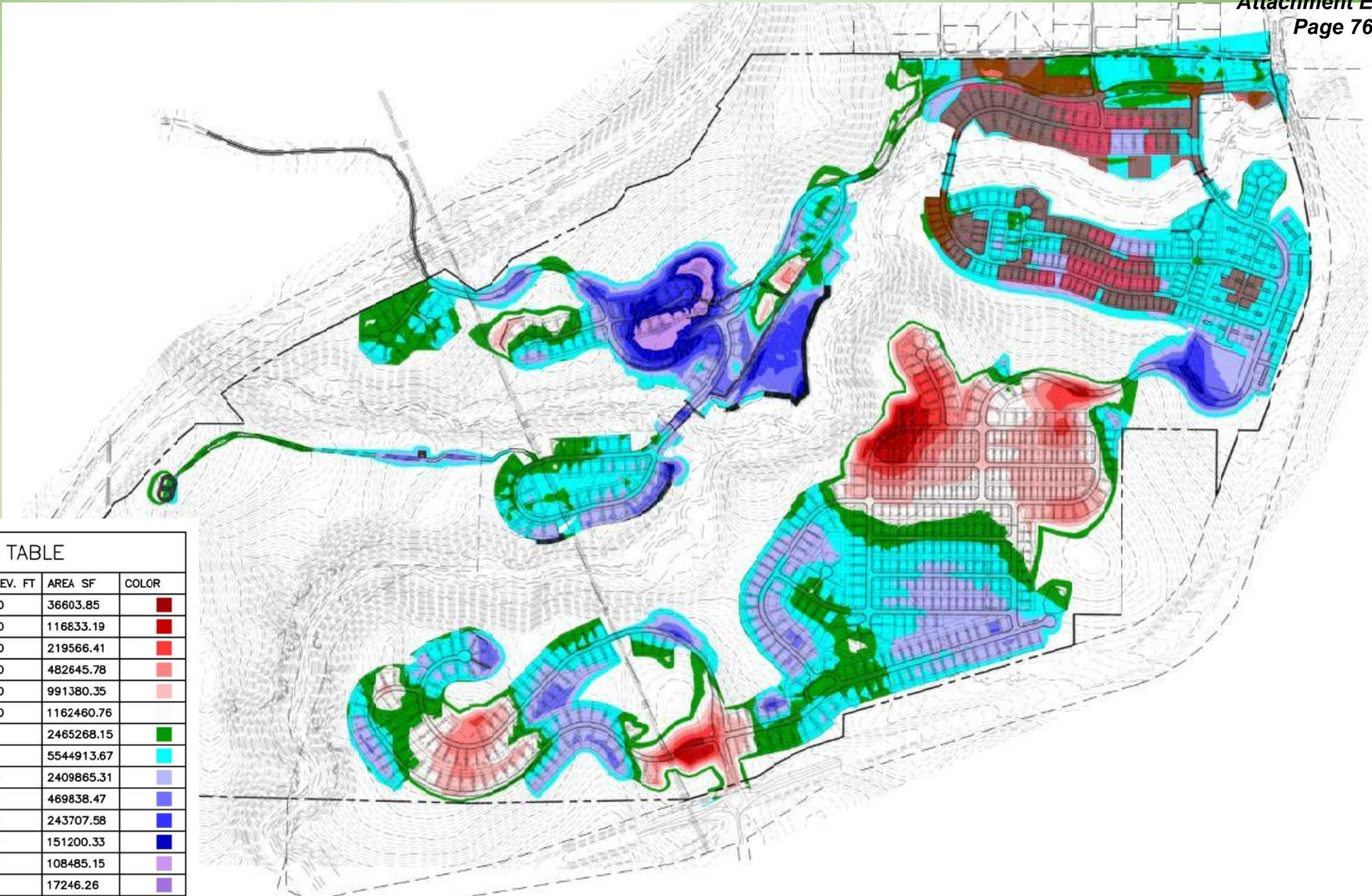
WASHOE COUNTY NEVADA

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JOB NO.: 21126.00 DATE: 11-05-2025

Cut and Fill Exhibit



ELEVATIONS TABLE				
NUMBER	MINIMUM ELEV. FT	MAXIMUM ELEV. FT	AREA SF	COLOR
1	-56.81	-60.00	36603.85	Dark Red
2	-60.00	-50.00	116833.19	Red
3	-50.00	-40.00	219566.41	Light Red
4	-40.00	-30.00	482645.78	Very Light Red
5	-30.00	-20.00	991380.35	Light Pink
6	-20.00	-10.00	1162460.76	Light Purple
7	-10.00	0.00	2465268.15	Green
8	0.00	10.00	5544913.67	Cyan
9	10.00	20.00	2409865.31	Light Blue
10	20.00	30.00	469838.47	Blue
11	30.00	40.00	243707.58	Dark Blue
12	40.00	50.00	151200.33	Very Dark Blue
13	50.00	60.00	108485.15	Purple
14	60.00	67.11	17246.26	Dark Purple